

COUNTY OF PLACER
Community Development Resource Agency

John Marin, Agency Director

**ENGINEERING
 &
 SURVEYING**

Wes Zicker
 Director of Engineering & Surveying

MEMORANDUM

TO: Honorable Board of Supervisors
FROM: Wes Zicker, Director *WZ*
 Department of Engineering and Surveying, Community Development Resource Agency
DATE: August 8, 2007
SUBJECT: ATWOOD RANCH III, TRACT NO. 927 / PROJECT NO. 8275

ACTION REQUESTED / RECOMMENDATION

1. Accept the subdivision improvements and traffic signal as complete.
2. Authorize the Faithful Performance and Labor and Materials sureties to be reduced to:
 - a. Faithful Performance 25% immediately upon your Board's approval.
 - b. Labor and Material 50% or the total of all claims per G.C.66499.7, whichever is higher, for six months or longer if claims exist.
3. Approve the attached resolution accepting the named roads into the County Maintained Mileage System.

New Roads:

Road Name	Road Number	Mileage
Spur Lane	E7070	.062 mi
Vaquero Vista Drive	E7071	.273 mi
Bosal Circle	E7072	.298 mi
Caballo Circle	E7073	.415 mi
Orbeck Court	E7074	.031 mi

Existing Roads – Added Mileage:

Road Name	Road Number	Mileage
Richardson Drive	F7064	.441 mi
Lariat Ranch Road	E7097	.031 mi

BACKGROUND / SUMMARY

Atwood Ranch III was approved to create 143 single-family residential lots with an average lot size of 9924 square feet, 3 Open Space Lots and 5 Landscape Lots on 56 acres as shown on the attached Exhibit "A". This subdivision is located south of Atwood Road at the intersection of Atwood Road and Richardson Drive.

The improvements constructed with this subdivision consisted of the reconstruction of portions of Richardson Drive and Atwood Road, traffic signal installation, public park improvements, subdivision streets, drainage, survey monumentation, and miscellaneous items. A security was collected sufficient to cover labor / materials and faithful performance and was posted with the County prior to acceptance of the Subdivision Map.

Streets within this project are public, with maintenance to be provided by Zone 191 of County Service Area No. 28 previously established by your Board.

Open space Lots B and C will be owned by Auburn Recreation District. That District's Board previously approved a Lighting and Landscape District (LLD) for maintenance and operation of recreation and trail facilities within Lots B and C.

ENVIRONMENTAL CLEARANCE

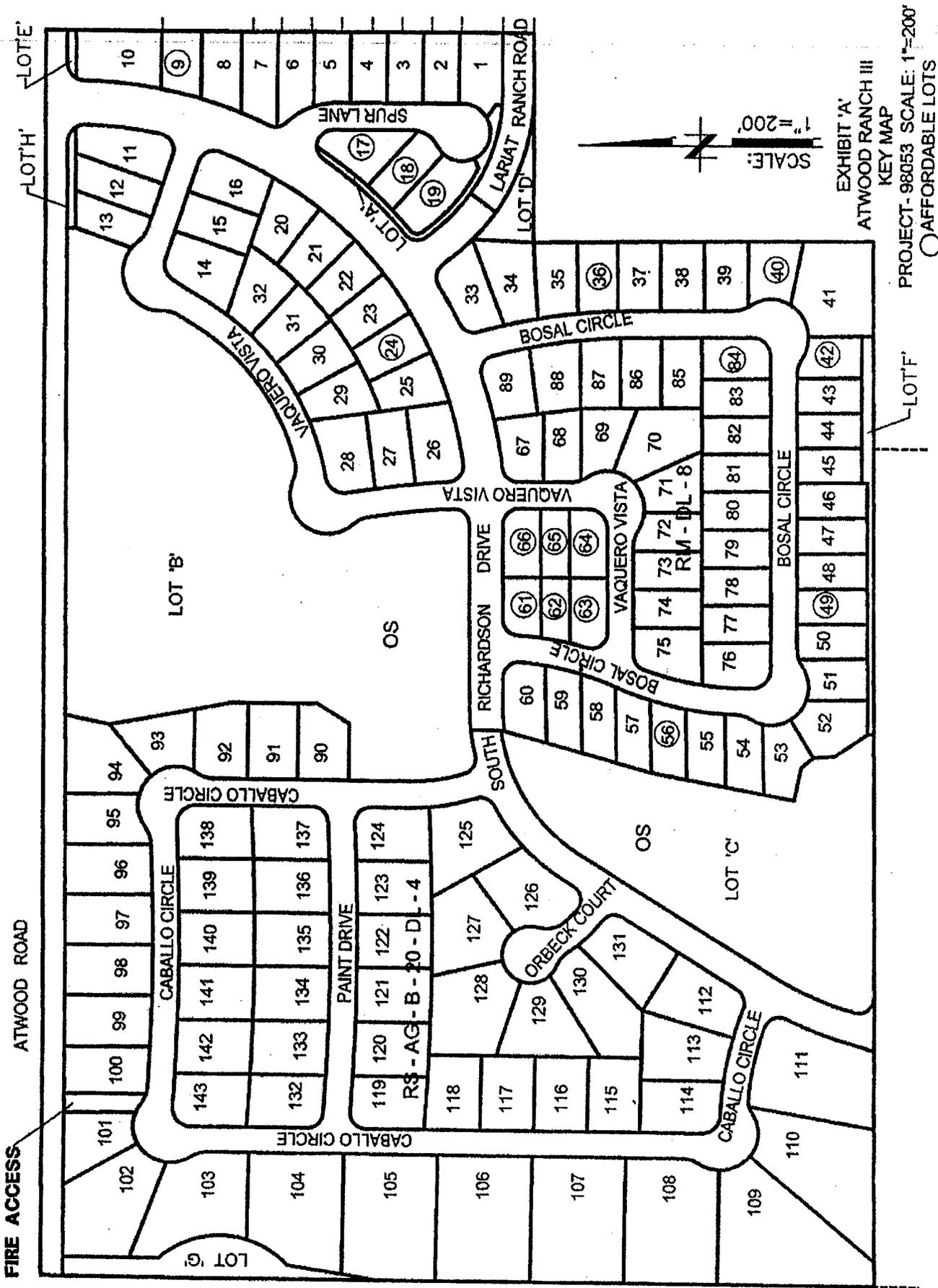
A Final EIR for Atwood Ranch III has been found adequate to satisfy the requirements of CEQA for this project. The Final EIR was certified by the Board of Supervisors on January 20, 2004 (SCH #2000082110).

FISCAL IMPACT

None

Attachment: Exhibit "A" - Map of Subdivision

EXHIBIT "A"
ATWOOD RANCH PHASE III



Before the Board of Supervisors County of Placer, State of California

In the matter of: A RESOLUTION ACCEPTING
THE ROADS IN ATWOOD RANCH III
SUBDIVISION, TRACT NO. 927 INTO THE
COUNTY MAINTAINED MILEAGE SYSTEM

Resol. No:.....

Ord. No:.....

First Reading:.....

The following RESOLUTION was duly passed by the Board of Supervisors of the
County of Placer at a regular meeting held AUGUST 7, 2007 by
the following vote on roll call:

Ayes:

Noes:

Absent:

Signed and approved by me after its passage.

Chairman, Board of Supervisors

Attest:
Clerk of said Board

WHEREAS, the following roads have been constructed to full County standards through
the land development process, and

WHEREAS, the County has agreed to accept these roads into the Maintained Mileage
System for the purpose of providing routine maintenance on said roads, with a County Service
Area established to provide for future major rehabilitation.

NOW, THEREFORE, BE IT RESOLVED, that the Board of Supervisors, County of
Placer, State of California, pursuant to the Streets and Highways Code Section 941, hereby
accepts these roads as shown below into the County Maintained Mileage System.

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