

PLACER *Reimagined*

SPECIFIC PLAN DEVELOPMENT STANDARDS DESIGN GUIDELINES

PRELIMINARY
PUBLIC REVIEW
DRAFT



January 24, 2018

COUNTY
OF

Placer



Placer Ranch

COUNTY
OF

Placer[®]

PRELIMINARY
PUBLIC REVIEW
DRAFT 1/24/18

PLACER Ranch

SPECIFIC PLAN

COUNTY
OF

Placer



Placer Ranch

PLACER Ranch

SPECIFIC PLAN

APPROVED BY

Placer County Board of Supervisors

Adopted _____

Resolution No. ____

LEAD AGENCY



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Auburn, CA 95603

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LIST OF ABBREVIATIONS

| Acronym | Definition |
|----------------|--|
| BOC | Back of Curb |
| BOW | Back of Sidewalk |
| CMU | Commercial Mixed Use |
| CP | Campus Park |
| FTES | Full Time Equivalent Students |
| GC | General Commercial |
| HDR | High Density Residential |
| HE | Highway Easement |
| LDR | Low Density Residential |
| LDR-A | Low Density Residential - Age Restricted |
| LE | Landscape Easement |
| MDR | Medium Density Residential |
| MPE | Multi-Purpose Easement |
| OS | Open Space |
| PE | Pedestrian Easement |
| PF | Public Facilities |
| PL | Property Line |
| PR | Parks & Recreation |
| PRDG | Placer Ranch Design Guidelines |
| PRDS | Placer Ranch Development Standards |
| PRSP | Placer Ranch Specific Plan |
| ROW | Right of Way |
| SAP | Sunset Area Plan |
| SSPC | Sac State Placer Campus |
| TC | Town Center |
| UZ | University |
| WELO | Water Efficient Landscape Ordinance |
| WRSL | Western Regional Sanitary Landfill |

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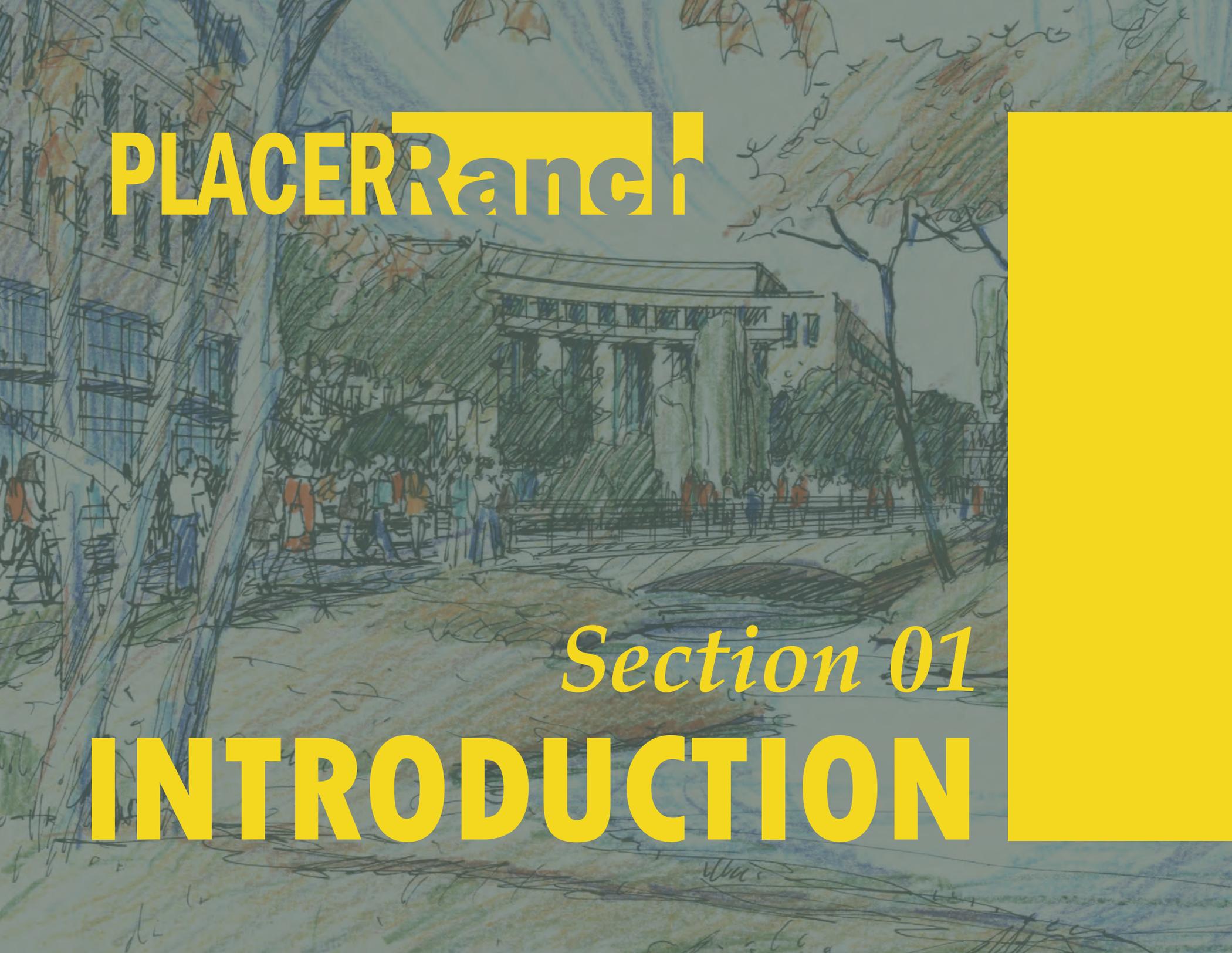
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An architectural sketch of a street scene. On the left is a multi-story building with many windows. In the center is a large, modern building with a flat roof and a covered walkway. On the right are trees with some autumn-colored leaves. People are walking on the sidewalk. The sketch is done in blue, green, and brown tones with some yellow highlights.

PLACER Ranch

Section 01

INTRODUCTION

COUNTY
OF

Placer



Placer Ranch

01

introduction

- A.** A Unique Opportunity
in Placer County's Sunset Area
- B.** A Bold Endeavor for Placer County
- C.** Specific Plan Purpose
- D.** Project Objectives
- E.** Benefits for Placer County Residents
- F.** Specific Plan Framework
- G.** Companion Documents

01 introduction

A UNIQUE OPPORTUNITY IN PLACER COUNTY'S SUNSET AREA

Placer Ranch is a distinctive master planned community that is uniquely positioned in the South Placer area. With a planned employment center, town center, university, expansive parks, and natural open spaces, the community has significant internal connectivity to new large-scale job clusters, shopping and dining areas, and diverse residential neighborhoods via an extensive bikeway network. Placer Ranch provides high-quality services and amenities to support the future population that a new employment center and university bring to the South Placer area.

The new community offers extensive benefits and creates opportunities to:

- Re-position the County's Sunset Area to effectively compete for new industry clusters in the region
- Catalyze creation of a diverse employment hub in the South Placer area, with corporate business parks, innovation centers, entertainment uses, eco-industrial uses, and supportive housing
- Bring a university to the South Placer area
- Expand the job base in the South Placer market area to significantly advance towards its role as a regional population center
- Establish a new vision and refreshed identity for the Sunset Area
- Attract new industries and job sectors, including start-up's, biotechnology, manufacturing, and other business sectors that desire proximity to a university
- Establish an urban, town center core with a vibrant mix of uses
- Create a diverse residential community with connectivity to surrounding jurisdictions and job centers
- Weave an open space network throughout the community that preserves vistas and creates a framework for an extensive bikeway network

With Placer Ranch, opportunity abounds.





A BOLD ENDEAVOR FOR PLACER COUNTY

Nestled among the jurisdictions of Lincoln, Rocklin, and Roseville, Placer Ranch is one component of the County's larger Sunset Area. For many years, the Sunset Area has been envisioned to become a major job center in South Placer. With the Placer County Board of Supervisors' actions in 2014 to update the Sunset Area's development plan, its emphasis was shifted away from creating an industrial-focused job center, to creating a diverse employment hub with corporate business parks, innovation centers, entertainment uses, eco-industrial uses, and supportive housing. Placer County's leadership recognized that a reimagined plan is not enough, and that something else was needed to incentivize development in order to achieve the vision.

Enter Placer Ranch – a game-changer for the Sunset Area.

Placer Ranch fits within the visionary framework of the Sunset Area Plan. With plans for a large employment center, a new urban town center, a university, and diverse residential neighborhoods, Placer Ranch catalyzes development of the entire Sunset Area.

In 2016, seizing the opportunity to bring a university to South Placer, the Board of Supervisors took the bold action of initiating a County-lead effort to comprehensively plan for development in Placer Ranch. The campus-sized business parcels and the university site are the keystone for the Sunset Area. As the community builds out, supporting business sectors and the university will follow. The momentum created by Placer Ranch will create significant economic development opportunities for Placer County, ultimately helping redefine the Sunset Area and allowing it to mature as a major job center in the region.

01 introduction

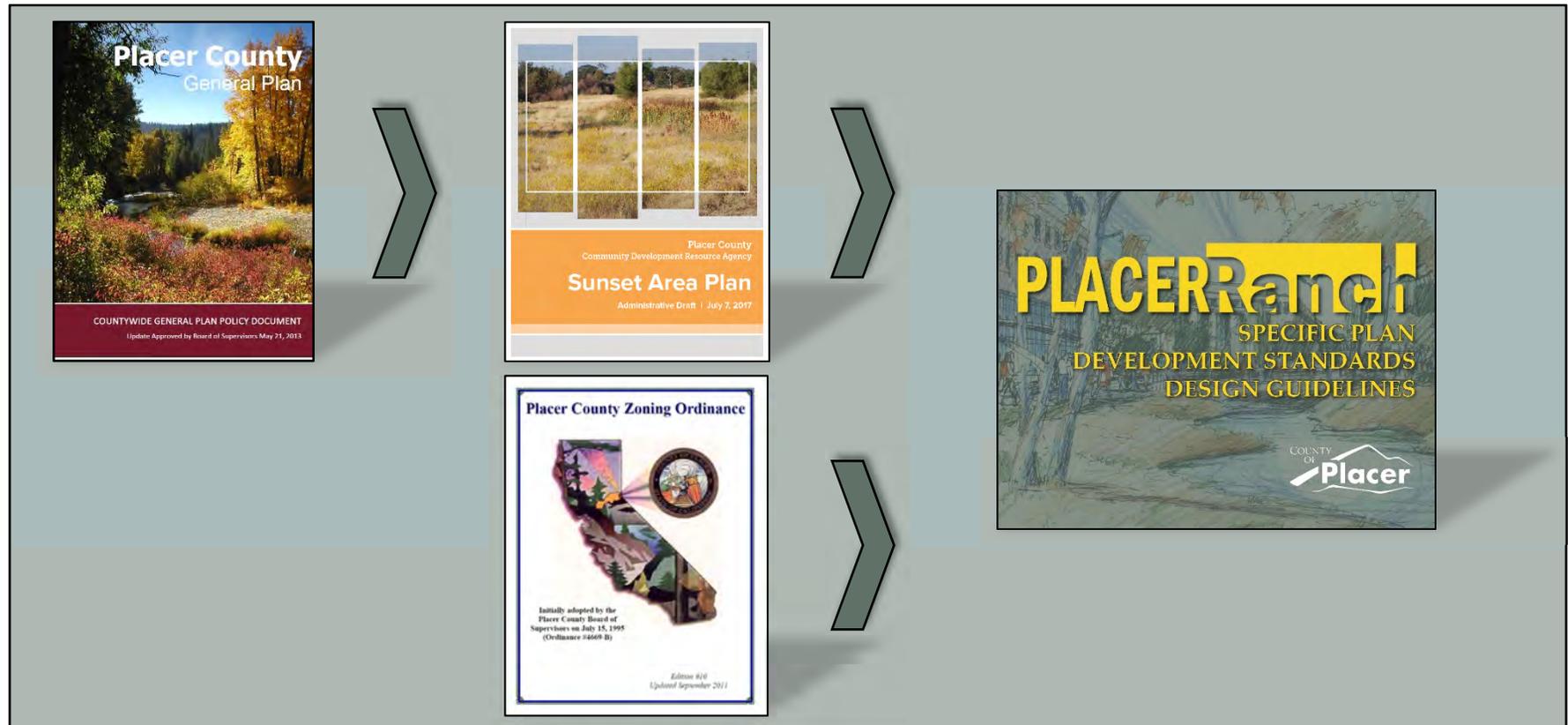
SPECIFIC PLAN PURPOSE

The Placer Ranch Specific Plan is the regulatory document that will guide and implement development activity in the 2,213-acre Plan Area over the long term. It implements the County General Plan, Sunset Area Plan, and Zoning Ordinance by establishing the fundamental development framework, distribution of land uses, roadway alignments, residential unit allocations, and all related provisions for parks, trails, utilities, public services, and infrastructure financing. The PRSP works in tandem with two companion documents: The Placer Ranch Development Standards and the Placer Ranch Design Guidelines. Together, these documents augment the Specific Plan and provide the appropriate standards and guidelines to ensure that future development projects in Placer Ranch are consistently implemented to achieve the desired vision at buildout.

PROJECT OBJECTIVES

Placer Ranch's development plan, including its land use organization, roadway alignments, and resulting balance of residential and non-residential uses, are guided by the following Project Objectives:

- **Conduct Comprehensive Planning:** Prepare a Specific Plan and associated regulatory documents that collectively create a comprehensive development plan for Placer Ranch, which facilitates development in the Sunset Area in a consistent and orderly manner and that assists in accommodating Placer County's share of the region's future population growth.
- **Integrate Placer Ranch with the Sunset Area Plan:** Ensure that development of the Placer Ranch community is designed to function as a stand-alone project, yet contributes to development in the Sunset



Area Plan and adjacent development areas in Roseville, Rocklin, and Lincoln.

- **Provide a Balanced Land Use Mix:** Provide for a mix of residential and employment generating land uses, which at buildout, can feasibly support the planned public infrastructure, parks, schools, a university, and other public facilities, as well as the project's planned commercial and employment centers.
- **Catalyze Development of the Entire Sunset Area:** Create business development opportunities that will catalyze the grander vision of creating a large-scale job center in the Sunset Area Plan, which provides land for a new university and supporting employment center, retail, and residential land uses.
- **Establish a Site for California State University, Sacramento – Placer Campus:** Provide 300± acres to the California State University system (CSU) for development of a Sacramento State (Sac State) off-campus center in Placer County, which is sized to potentially accommodate up to 30,000 students (25,000 Sac State and 5,000 Sierra College).
- **Establish a Major Employment Center:** Create a large-scale job center that supports a wide range of employment opportunities, which implements Placer County's vision for the Sunset Area by planning for uses that allow research and development, office, retail and commercial, innovation/technology, and light manufacturing uses.
- **Incorporate a Town Center:** Establish a land use framework to create a mixed-use, urban center adjacent to employment centers and the university site, which will provide retail goods, services, and multi-family housing that benefit from proximity to job clusters.
- **Provide Diverse Housing Opportunities:** Establish places for construction of a diverse array of housing types including single-family homes in conventional and compact development patterns, townhomes, apartments, lofts, active-adult housing, dormitories, faculty housing, and housing in mixed-use buildings.
- **Meet Regional Housing Needs Allocation:** Aid the County in achieving its obligation to accommodate a percentage of the region's forecasted population growth, as mandated by the California Department of Housing and Community Development and as directed by the Sacramento Council of Governments, including applicable provisions of Senate Bill 812.
- **Supply Land Areas for Public Uses:** Ensure that the development plan provides an appropriate balance of land uses to economically support development of community-wide public and civic facilities, including an elementary school, middle school, neighborhood parks, mini parks, and open spaces.
- **Integrate Plans for Placer Parkway:** Establish a corridor for the future construction of Placer Parkway, including land areas for roadway interchanges at Foothills Boulevard and Fiddymont Road.
- **Establish Open Space for Habitat Conservation:** Create a balanced plan for on-site habitat conservation and development through the creation of open space corridors that will permanently protect sensitive resource areas and drainage ways.
- **Participate in the Placer County Conservation Plan (PCCP):** Participate in the PCCP to facilitate the permanent preservation of several types of natural resources and biological communities located throughout western Placer County.
- **Ensure Economic Viability:** Provide land use phasing and public facilities financing plans that enable the Plan Area to develop in an economically-feasible manner.
- **Create a Fiscally-Responsible Plan:** Ensure that the development plan creates a balanced community that can be implemented in a fiscally-responsible manner, with neutral or positive impacts to Placer County and the provision for revenue sources for the long-term maintenance of open space areas, park facilities, landscape corridors, public services, and infrastructure.
- **Foster Sustainable Community Design:** Aid the County in achieving its objectives for long-term sustainability through project design and building practices that incorporate measures to reduce energy usage, conserve water, incorporate water efficient landscaping, treat stormwater, and reduce reliance on the automobile.
- **Enable Blueprint Consistency:** Create a development plan that is consistent with the growth principles identified in the Sacramento Area Council of Government's Blueprint, which consists of providing higher-density residential neighborhoods, more compact forms of development, alternative transportation options such as Bus Rapid Transit and bicycle use, and an interconnected network of residential neighborhoods, commercial nodes, and employment centers.

01 introduction

BENEFITS FOR PLACER COUNTY RESIDENTS

As Placer Ranch builds out over time, it will gain strong name recognition in the region – Placer Ranch. It's a place to work in one of several office parks or industrial complexes. It's home to Sac State – Placer Campus. It's a place to live in one of many diverse neighborhoods. It's a place to shop and eat in a new Town Center that boasts a lively, energetic vibe. It's a place to recreate in one of the community's expansive parks. It's a place to enjoy the outdoors along a widespread network of multi-use Class I trails for pedestrians and bicyclists.

Placer Ranch – it's a place to call home. Several features of the development plan provide numerous benefits to Placer County's residents.

Campus Park Employment Center

A new kind of job center is envisioned for Placer Ranch: The Campus Park. At nearly 400 acres, the Campus Park is situated along the Placer Parkway corridor, adjacent to university and commercial uses. This employment core allows for a diverse mix of job clusters to accommodate start-up technologies, biotech, research and development, corporate campuses, and other emerging businesses. Businesses in the Campus Park can benefit from the ability to collaborate with the university's students and faculty, as well as the services and dining opportunities in the nearby Town Center. Placer Ranch's Campus Park furthers the vision for the Sunset Area Plan by facilitating creation of a major job center in South Placer.



California State University, Sacramento – Placer Campus

Placer Ranch includes a site for development of an off-campus center of the California State University, Sacramento. Sierra College is planning to partner with Sacramento State in this endeavor and envisions having a permanent presence on campus, allowing students who start at the Community College level to transfer directly to the Sac State – Placer Campus (SSPC). At approximately 300 acres, the university site is centrally located in Placer Ranch, giving it significant visibility in the community. Initially, the university is envisioned to function as an off-campus center of the California State University, Sacramento. The campus is planned to grow in response to demand from the region. The first phase is anticipated to result in a population of 500-2,500 full time equivalent students (FTES), with 12,000 FTES estimated for the 20-year planning horizon. In addition, Sierra College is estimated to add 1,000 FTES during the first phase, with 5,000 FTES at the 20-year planning horizon. Ultimately, the university site is sized to accommodate 25,000 FTES from the SSPC and 5,000 FTES from Sierra College.



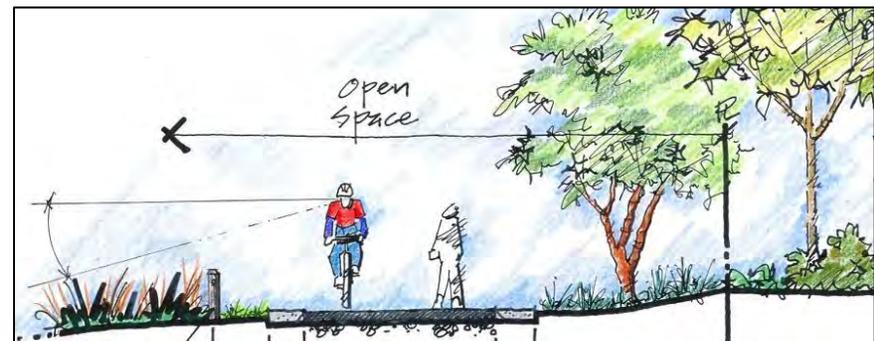
Recreational Amenities Abound

An extensive system of parks and open space is planned in Placer Ranch. Neighborhood parks have frequent locations throughout the residential neighborhoods, providing actively-programmed spaces for residents to play and relax. Formal park spaces are augmented by a large network of open space preserves, which weave through the community and are an organizing element of the community's urban form. This system of "green" infrastructure is further enhanced by a network of open space paseos consisting of landscaped passageways with multi-use trails, which link parks, schools, and open space areas with the residential districts, Campus Park, university, and the Town Center.



Trails & Bikeways

The trail system is a key component of Placer Ranch's recreation plan. Within paseos and open space areas, several miles of street-separated multi-use Class I trails are planned that give pedestrians and cyclists the unique opportunity to travel through the entire community without riding on the street. This network links together the Town Center, Campus Park, university site, parks, residential neighborhoods, as well as other regional trails to the south. To bolster this network, an extensive on-street Class II bikeway system is planned with the bicycle commuter in mind. This system allows cyclists to efficiently move throughout the community in designated on-street bike lanes, offering an alternative transportation mode that is efficient and convenient.



01 introduction

Town Center

Located adjacent to the Campus Park and university site, the Town Center is the place where people go to shop, dine, obtain services, and gather with friends and colleagues. The overall development pattern of this district is modeled after a traditional, mixed-use downtown setting. At approximately 224 acres, the Town Center is comprised of a mix of retail establishments, office spaces, and apartment/ loft-style homes, which places it in proximity to the Campus Park's daytime workforce and the university's students and faculty. When mature, the Town Center is envisioned to accommodate major anchors such as a neighborhood grocer, movie theater, church, and hotel, with supporting restaurants, cafes, lounges, retail shops, and service-type businesses that collectively make the Town Center a one-stop destination.



A Place to Call Home

A diverse mix of housing opportunities are provided throughout the community. Within the Town Center, sites are provided to facilitate development of higher-density housing for the emerging community's population. For neighborhoods located west of Fiddymont Road, sites are provided for development of conventional single-family housing for families and new professionals entering the workforce. Placer Ranch's residential development provides neighborhoods for all population segments. This includes areas that can support age-restricted housing, entry-level housing, and move-up housing, plus mid and high-density areas for construction condominiums, apartments, and lofts. Additionally, the opportunity for mixed-use residential developments is provided in the Town Center's commercial areas.



SPECIFIC PLAN FRAMEWORK

The Placer Ranch Specific Plan is organized into the following sections:

01 – Introduction

Provides an overview of the master-planned community, identifying the unique opportunities for Placer County, the benefits to the County’s residents and businesses, and Placer Ranch’s project objectives.

02 – Setting & Context

Illustrates the project’s location relative to the Sunset Area and nearby cities, and describes various regional opportunities, existing conditions and uses, and factors that influenced the development plan.

03 – Community Framework

Explains the overarching vision for the long-term buildout of Placer Ranch, including the key urban design and community form elements of the development plan. Also describes the various districts of Placer Ranch and the high-level development goals for each area.

04 – Land Use

Provides a land use diagram illustrating location and distribution of land uses, including descriptions for all land uses and allowable use types. Also includes a summary of land use data and development potential, with parcel-specific acreages, unit allocations, and holding capacities.

05 – Community Employment

Describes the employment-generating attributes of the Campus Park, university, and commercial land uses, including estimates for potential job creation and non-residential buildout projections.

06 – Population & Housing

Outlines the population estimates for the various household types and describes the housing plan, including provisions for affordable housing.

07 – Mobility

Provides high-level plans for the community’s automobile circulation system and alternative transportation modes with the multi-use Class I trail system, Class II on-street bike lanes, and pedestrian network. Also addresses provisions for public transit.

08 – Public Services

Describes the approach and plans for various community services, including parks and recreation facilities, open space areas, schools, library services, law enforcement, and fire and emergency services.

09 – Utilities

Illustrates high-level plans for backbone infrastructure improvements, addressing potable water, recycled water, and wastewater utility systems, solid waste provisions, stormwater drainage, water quality measures, and dry utilities for energy, voice, and data communications.

10 – Implementation

Describes the components that implements long-term project build-out, including the Specific Plan’s regulatory authority and relationship to County plans and policies, infrastructure phasing and financing, subsequent entitlements and approvals, amendment procedures, and residential unit transfers.

01 introduction

COMPANION DOCUMENTS

The Placer Ranch Specific Plan relies on two companion documents to guide buildout of the community. These include:

Placer Ranch Development Standards

Adopted by Ordinance, the Development Standards document provides zoning regulations and standards for development projects in the Plan Area.

This includes standards for:

- Permitted uses and development standards for all land uses (property line setbacks, building height, etc.)
- Roadway design sections
- Class I Trail design standards
- Wall and fencing requirements
- Signage for community monuments



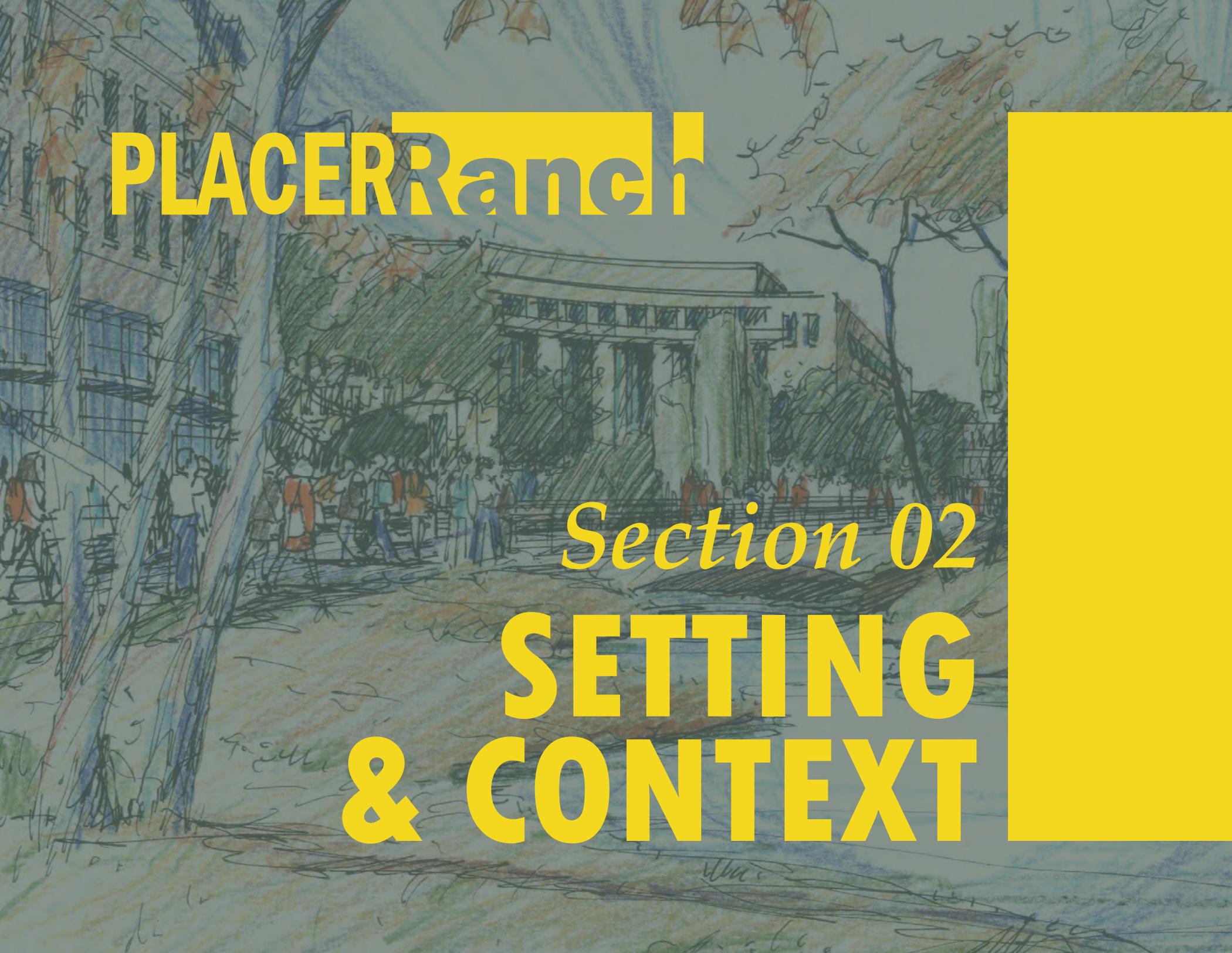
Placer Ranch Design Guidelines

Adopted by Resolution, the Design Guidelines document provides design guidance for various community attributes that influence the appearance of the public realm.

This includes provisions for:

- Landscape architecture for streetscape planning concepts
- Street tree master plan and plant palettes
- Entry features including community gateways and neighborhood entries
- Parks and paseos, including conceptual site plans
- Residential design guidelines for subdivisions and architecture
- Town Center, including its urban form and development pattern





PLACER Ranch

Section 02

SETTING & CONTEXT

COUNTY
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Placer



Placer Ranch

02 setting & context

- A.** Evolution of Placer County's Sunset Area
- B.** Project Location
- C.** Sunset Area Plan
- D.** Relationship to Other Developing Areas
- E.** Site Conditions and Uses
- F.** Land Use Opportunities
- G.** Factors Influencing the Development Plan

02 setting & context

A. Evolution of Placer County's Sunset Area

For more than 50 years, Placer County has envisioned the Sunset Area as a core employment-generating center that would serve as an economic engine for South Placer County. As a component of the County's General Plan, the Sunset Industrial Area Community Plan was adopted by the County in 1997. It covered nearly 14 square miles (approximately 8,100 acres) between the cities of Lincoln, Rocklin, and Roseville. Figure 2-1 shows the relationship of the Sunset Area with surrounding jurisdictions.

The original plan sought to create a major job center by capitalizing on proximity to Highway 65, rail lines, and the growing communities of Roseville and Lincoln. By the mid 2010's, some industrial development had occurred, mostly in proximity to Sunset Boulevard and Highway 65.

In 2014, the Placer County Board of Supervisors directed the initiation of a planning effort that established a new vision and development plan for the Sunset Area. This resulted in a new name: The Sunset Area Plan. With a new strategy and plan for the Sunset Area, the County repositioned the land area to attract large, mixed-use developments, commercial uses, universities, advanced manufacturing, corporate campuses, and entertainment venues. With an orientation toward employment-generating uses, the Sunset Area Plan provides a major opportunity to continue expanding the job base in the South Placer area, thereby achieving its role as a regional employment center.

Critical to achieving the success within the Sunset Area Plan was the advancement of the Placer Ranch Specific Plan. Located entirely within the Sunset Area Plan, Placer Ranch included plans for large employment centers, higher-education, an urban, mixed-use core, and diverse residential neighborhoods.

In 2016, the Placer County Board of Supervisors directed the initiation of preparation of the Placer Ranch Specific Plan. This comprehensive planning effort was conducted concurrently with preparation of the Sunset Area Plan, which allowed a development plan to be established for the Placer Ranch area within the development framework being established for the Sunset Area Plan. This action was a unique step to crystalize the County's long-standing vision and activate development throughout the entire Sunset Area.

B. Project Location

The Placer Ranch Specific Plan (PRSP) is nearly 3.5 square miles in size and is located in the southern portion of Placer County's Sunset Area. The Plan Area is located entirely within unincorporated Placer County, south of the City of Lincoln, west of the City of Rocklin, and immediately north of the City of Roseville.

Relative to major roadways, the PRSP is approximately one mile west of Highway 65, one mile north of Blue Oaks Boulevard, and one mile south of Athens Avenue. The site is accessible from several roadways, including Sunset Boulevard and Foothills Boulevard in the eastern area, Fiddymont Road through the central area, and Sunset Boulevard West along a portion of the site's northern edge. In addition, Woodcreek Oaks Boulevard is stubbed to the southern edge of the site.

Figure 2-1 shows the project's location relative to surrounding communities and major roadway corridors.

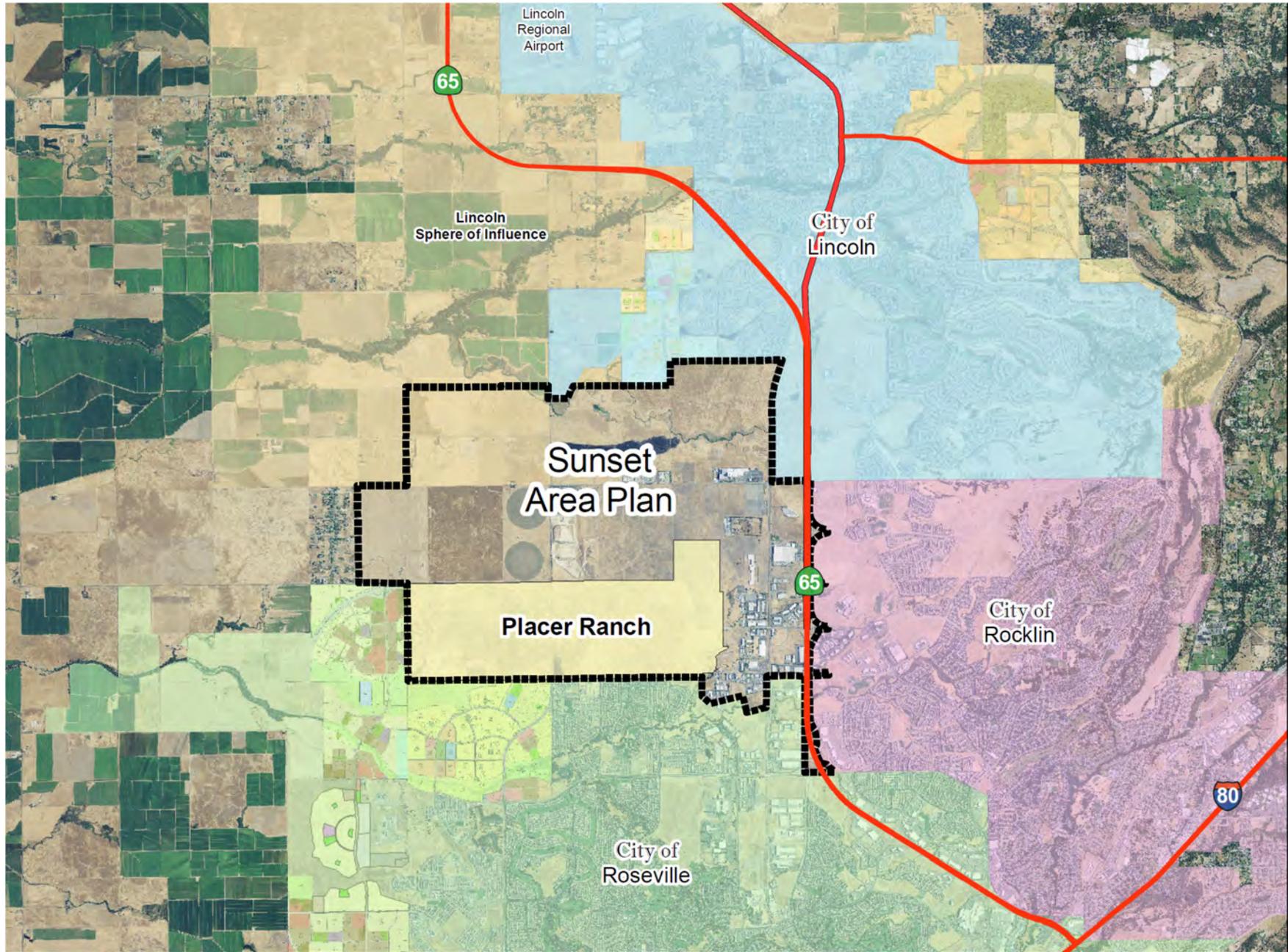


FIGURE 2-1: PROJECT LOCATION MAP

02 setting & context

C. Sunset Area Plan & Relationship to Placer Ranch

The Sunset Area Plan (SAP) defines vision for development in the Sunset Area. The SAP is well-positioned in the marketplace to catalyze a strong share of South Placer's job creation. The SAP seeks to maximize proximity to South Placer's growing areas, the Thunder Valley Casino Resort on Athens Avenue, and market forces.

The SAP incorporates a development framework to facilitate the creation of several distinct employment districts consisting of Entertainment Mixed-Use, Commercial, Business Park, Innovation Center, Eco-Industrial, and Light Industrial. The SAP also includes design guidelines to ensure design quality and consistency in the Sunset Area.

The SAP embraces the development potential in Placer Ranch. It establishes a vision and an array of land uses that complement several uses planned in Placer Ranch, such as corporate office parks, a university, the Town Center, and diverse residential villages. The SAP's policy framework has been crafted to ensure that development of the entire

Sunset Area would be economically viable in the long-term and would result in the originally-envisioned job center for the South Placer area.

Figure 2-2 illustrates the SAP's distribution of land uses.

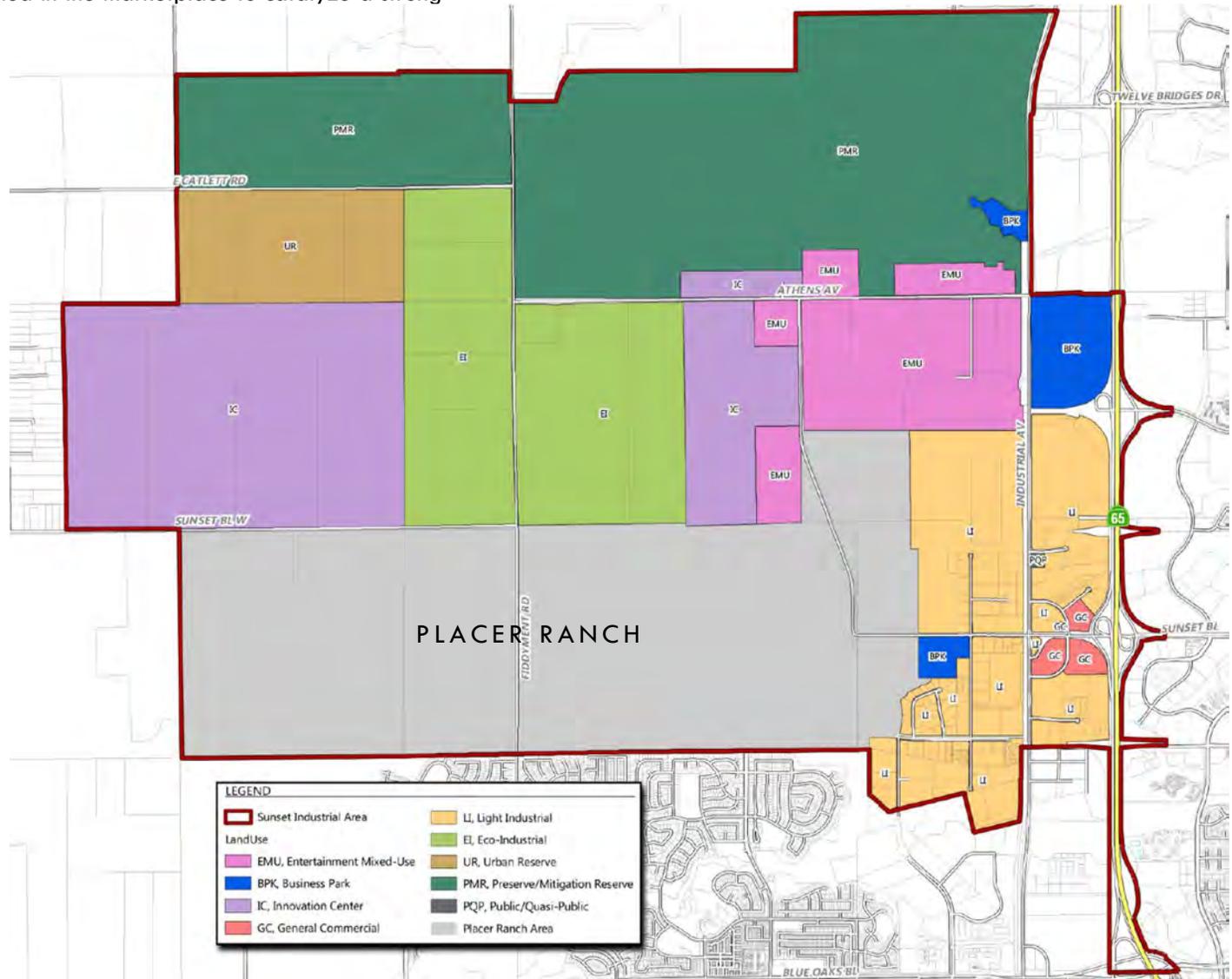


FIGURE 2-2: SUNSET AREA LAND USE PLAN

D. Relationship with Other Developing Areas in South Placer

At the time of Specific Plan approval, the Sunset Area and Placer Ranch were nearly surrounded by newly developing areas in adjacent jurisdictions in South Placer, which collectively created opportunities for the PRSP to compete for a strong share of the region's growth.

To the north in the City of Lincoln, the Village 7 and Twelve Bridges Specific Plan areas were building out. To the east in the City of Rocklin, the Whitney Ranch Specific Plan was underway. And to the south in the City of Roseville, several specific plan areas were building out, including the West Roseville, Creekview, and Amoruso Ranch Specific Plans.

The southern edge of the City of Lincoln's Sphere of Influence is approximately one mile north of the PRSP and overlaps a portion of the SAP's northern area. Lincoln's General Plan provides for a wide array of residential uses, as well as open space preserves, along the northern portion of the Sunset Area, in proximity to Placer Ranch.

The proximity of Placer Ranch to other developing areas is illustrated in Figure 2-3.

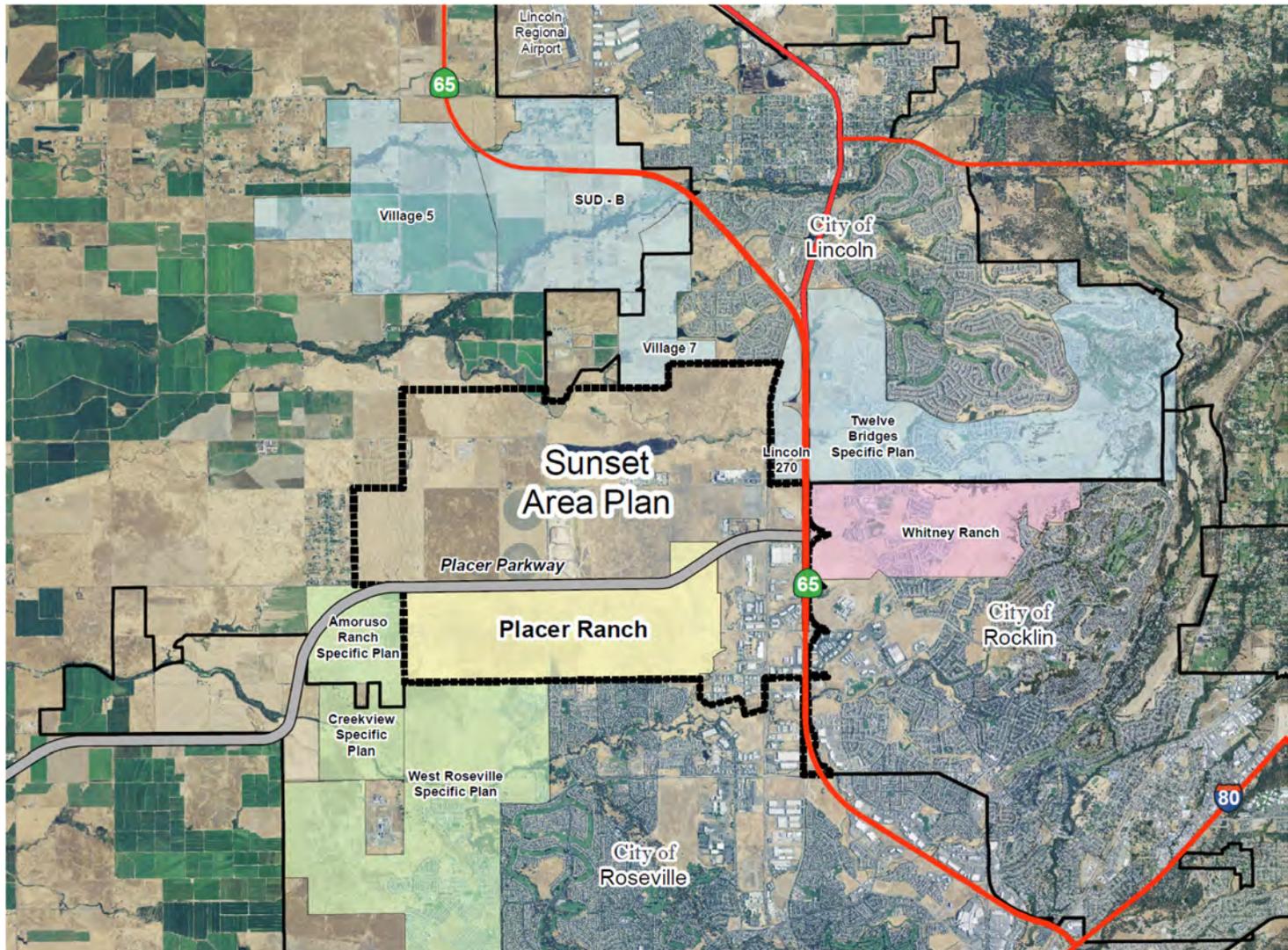


FIGURE 2-3: PLACER COUNTY DEVELOPMENT AREAS

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E. Site Conditions and Uses

At the time of Specific Plan approval, the Placer Ranch site was primarily undeveloped and characterized by areas of flat and gently rolling terrain with non-native grasslands. Portions of the site have been previously used for agricultural purposes, including cattle grazing and the production of wheat, hay, and rice.

Several drainage ways are located in the site. The most pronounced is a riparian corridor located in the southeast corner of the site, which flows southward to Pleasant Grove Creek. In addition, several smaller drainages are located throughout the site and converge to form a drainage way named University Creek. The site's relatively flat topography, combined with slow draining soils, contributes to the formation of wetlands throughout the site.

Several utilities are located in the Plan Area. An approximately 125'-wide, 230 kV PG&E powerline corridor traverses the eastern portion of the site in a diagonal manner. This corridor accommodates several high voltage, overhead electric transmission lines and associated towers. In addition, a 12kV overhead powerline is located along the eastern edge of Fiddyment Road. Near the southeastern corner of the site, the City of Roseville owns and operates Roseville Power Plant 2, a peaking facility that is used to generate electricity. Finally, an underground high-pressure natural gas line diagonally traverses the site near the eastern boundary. This gas line is contained within a 10'-wide easement and extends from the southeast corner of the site in a northeasterly direction.

Several roads are located within the Plan Area. Fiddyment Road is a two-lane, north/south roadway that bisects the center of the site. Sunset Boulevard is a two and four-lane, east-west roadway located in the eastern portion of the site, which extends from the SR 65/Sunset Boulevard interchange. Sunset Boulevard terminates and transitions to Foothills Boulevard, which is a two-lane north/south roadway that extends from Sunset Boulevard northward through the site. Foothills Boulevard extends northward from its southern terminus at Sunset Boulevard within the site, ending at Athens Avenue near Thunder Valley Casino Resort. In addition, a separate and non-connecting east/west segment of Sunset Boulevard (named Sunset Boulevard West) is located along a portion of the PRSP's northern boundary, which extends westward from Fiddyment Road. The various site features are identified on Figure 2-4.



Westward view of site from Sunset Boulevard at Cincinnati Avenue



Southwest view from Sunset Boulevard and Foothills Blvd..



Southeast view from northwest corner of site on Sunset Blvd. West



Northeast view from Grove Hill Way in Fiddyment Farm

F. Land Use Opportunities

Placer Ranch's land use mix creates numerous opportunities:

- The PRSP includes a blend of non-residential uses that include the Campus Park, a major job center, with office, research and development, commercial, warehouse, and light industrial uses. These uses complement development envisioned in the balance of the Sunset Area Plan.
- The PRSP provides a land use mix that represents a viable and sustainable community. This land use mix draws the community together, supports the related needs of the planned university, and provides housing opportunities to support needs of employees in the emerging job clusters within both Placer Ranch and the balance of the Sunset Area.
- The degree and type of land uses provided in the PRSP are an attractor of job-generating uses. Combined with a wide range of housing opportunities, the PRSP enhances South Placer County's job/housing balance. The number of potential jobs provided within the Plan Area is anticipated to create a job/housing balance that allows local residents to remain within the Plan Area for employment.
- The PRSP provides an appropriate intensity and use transition between residential and non-residential development.
- Residential land uses are designed to facilitate housing that utilize the principles of smart growth. Residential densities are higher than the typical 3 to 5 dwelling units per acre that are common in other master-planned communities in the region. Residential uses also account for housing types that are typical to a business park setting and provide opportunities for the local workforce and students to reside within the Plan Area.

G. Factors Influencing the Development Plan

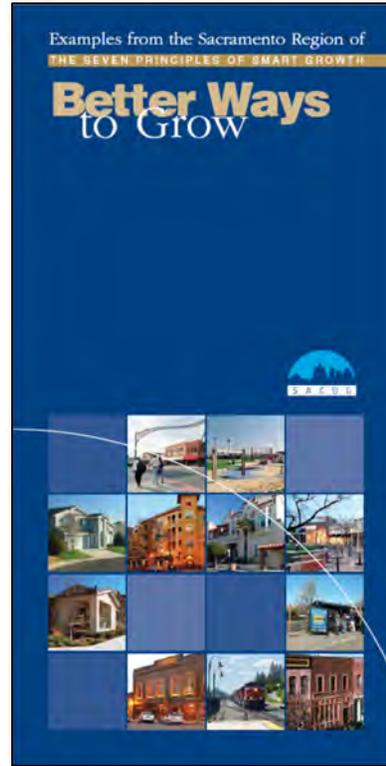
The evolution of Placer Ranch's development plan was influenced by several factors: physical site constraints, County policies, location within the Sunset Area Plan, project objectives, and long range opportunities. Collectively, these factors shaped the form of the land use plan, the distribution of uses, and the location of roadways. The key elements that bear importance to the final development plan include:

- **Project Objectives:** The project objectives influenced the development plan's land use design in several manners, such as establishing a major job center and providing a site for a university, as well as providing for a balanced community that supports a mixture of residential, commercial, and employment generating uses.
- **Sunset Area Plan:** The PRSP is located within the Sunset Area Plan, which is planned to accommodate a major employment center in the South Placer region. To that end, planned uses along the PRSP's northern and eastern boundaries honor the SAP's vision by providing a mixture of employment and commercial areas that complement each other.
- **Placer Parkway:** Placer Parkway is a planned 15-mile, limited access roadway that will connect SR 65 in western Placer County to SR 70/99 in south Sutter County. In 2009, the South Placer Regional Transportation Authority (SPRTA) approved a corridor for the construction of Placer Parkway and approximately 3 miles of this facility passes through the PRSP. The land use plan for Placer Ranch establishes an alignment for the construction of Placer Parkway, which is consistent with SPRTA's overarching vision.
- **Western Regional Sanitary Landfill:** This 280-acre facility is located adjacent to a portion of the PRSP's northern boundary, along Fiddymont Road and south of Athens Avenue. The General Plan includes policy guidance that addresses land uses in proximity to the landfill.
- **Physical Site Constraints:** The Plan Area includes several physical attributes that influenced the land use planning effort. Various wetland features including tributaries to Pleasant Grove creek are located throughout the site. The highest quality wetland features are planned for preservation as permanent open space. Additionally, to the east of Fiddymont Road, the planned land uses and parcel

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shapes/orientation respond to the powerline corridor that diagonally traverses the eastern portion of the site, and an electric peaking facility and high-pressure natural gas line, both located along the southeastern edge of the Plan Area. Collectively, these physical site constraints influenced how land uses throughout the site were placed.

→ **Sacramento Region Blueprint:** In 2004, the Sacramento Area Council of Governments (SACOG) adopted a “Preferred Blueprint Scenario” for growth in the region’s six counties. For Placer County, the preferred scenario anticipated that a significant portion of future growth would occur in the in the “greenfield” areas of South Placer County. The Preferred Blueprint Scenario included seven key growth principles for new development areas. The PRSP’s development plan embraces these principles by providing choices for alternative modes of transportation, by conserving natural resources, and by facilitating development of mixed-use projects, compact development, and residential areas that provide housing type diversity.



→ **Placer County Conservation Plan (PCCP):** The PCCP consist of two separate, but complementary programs: The Western Placer County Habitat Conservation Plan and Natural Community Plan (HCP/NCCP) and the Western Placer County Aquatic Resources Program (CARP). The PCCP is a County-initiated program intended to facilitate a streamlined wetland permitting process. When finalized, the PCCP will function as a Habitat Conservation Plan (HCP) under the Federal Endangered Species Act and a Natural Community Conservation Plan (NCCP) under the California Natural Community Conservation Planning Act.

→ **Interface with City of Roseville:** The southern edge of the Plan Area is contiguous with several residential neighborhoods and open space areas in the City of Roseville. In addition, the north/south alignments of Fiddymont Road, Woodcreek Oaks Boulevard, and Foothills Boulevard provide opportunities for street and utility connections between Roseville and the Sunset Area. The PRSP’s development plan incorporates low-density residential and open space land uses along the southern edge of the Plan Area in order to create a compatible interface with uses in the City of Roseville. These uses are buffered by planned walls and fences that maintain the integrity of Roseville’s residential neighborhoods and that protect open space preserves. The PRSP also incorporates roadway connections, multi-use Class 1 trail linkages, and utility tie-in’s at several points along the shared edge with Roseville.

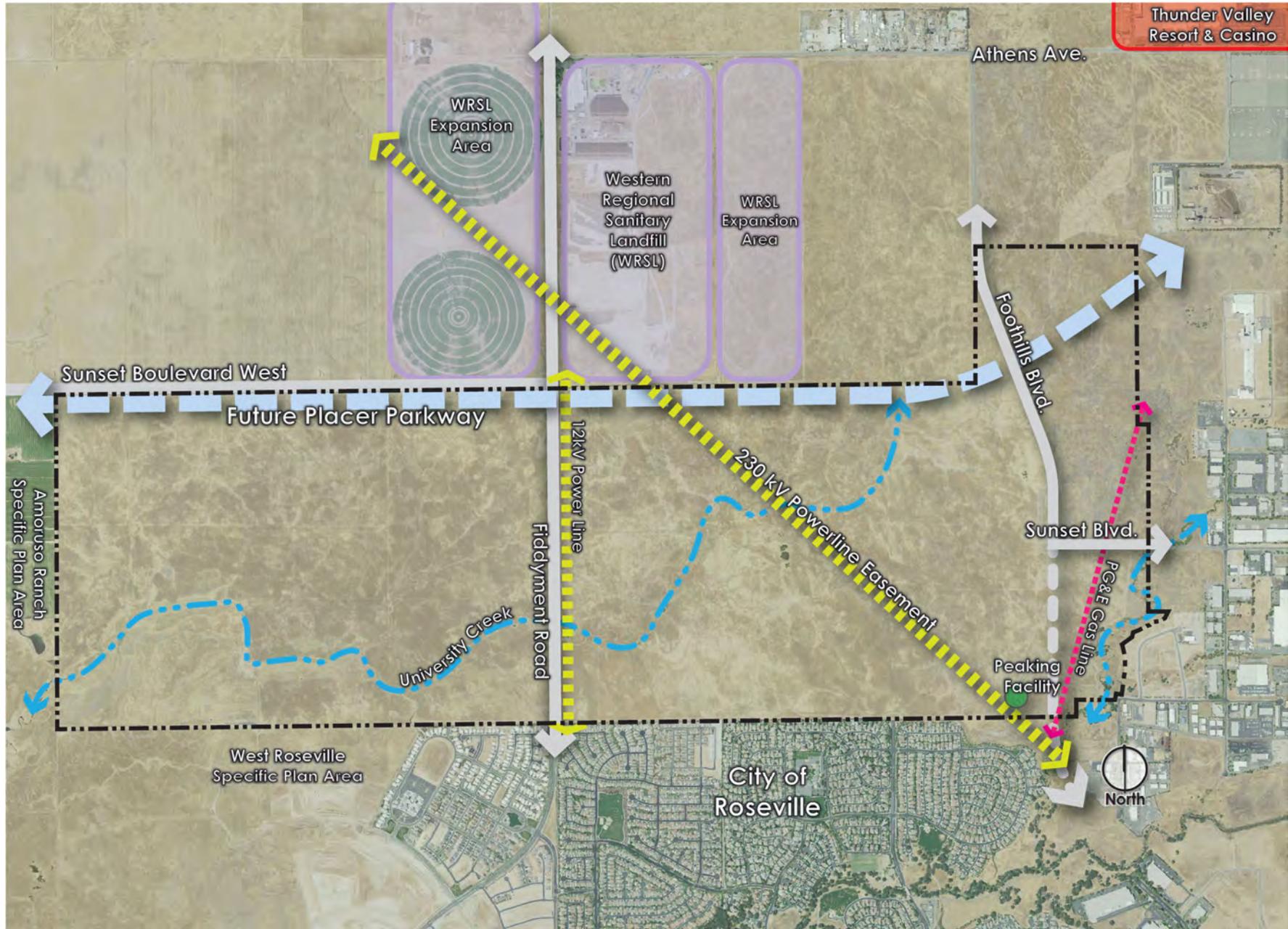


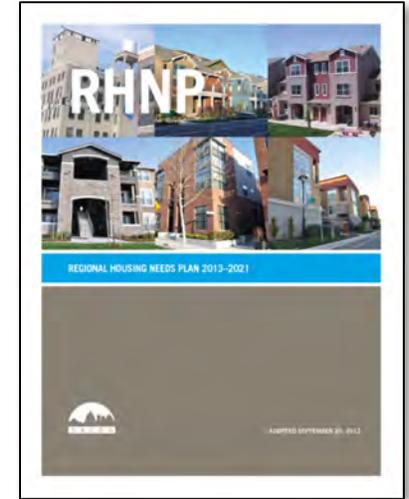
FIGURE 2-4: SITE AERIAL AND EXISTING FEATURES

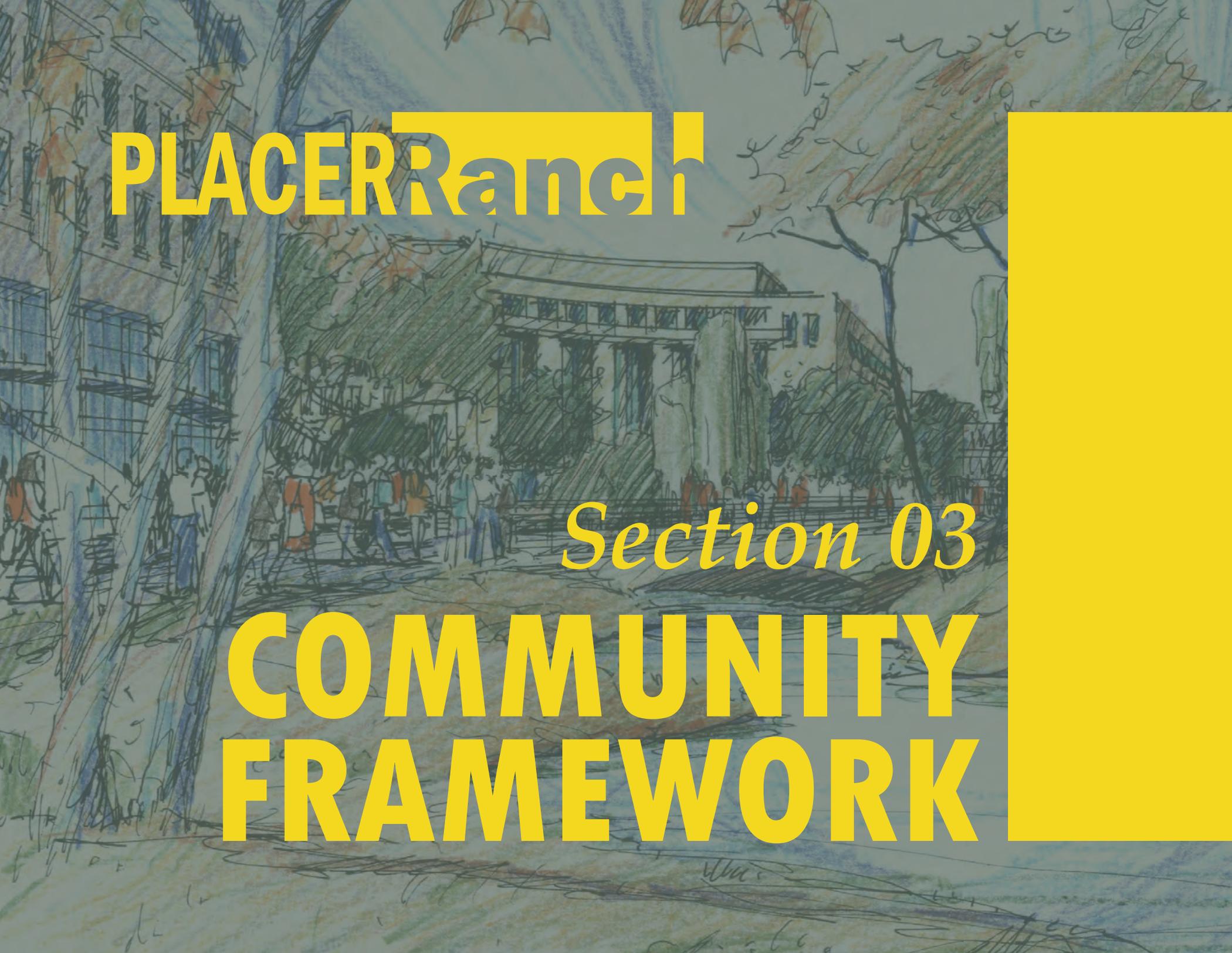
02 setting & context

→ **Metropolitan Transportation Plan/ Sustainable Communities Strategy (MTP/SCS):** In 2016, SACOG adopted a MTP/SCS that links the regional needs for land uses, air quality, and transportation. The MTP/SCS supports the Sacramento Region Blueprint, which implements smart growth principles, including housing choice, compact development, mixed-use development, and natural resource conservation. The MTP/SCS includes transportation improvements to serve the region's projected land use pattern and population growth. It also provides increased transportation options while reducing congestion, shortening commute times, and improving air quality. The PRSP's development plan implements the goals of SACOG's MTP/SCS by including a multi-modal transportation system that supports smart land use patterns, by ensuring long-term fiscal vitality, by creating opportunities for businesses and residents to easily access services, jobs, and housing, and by facilitating creation of a sustainable master-planned community.



→ **Regional Housing Needs Allocation:** The Sacramento Area Council of Governments' has adopted a Regional Housing Needs Plan that specifies the amount of housing that Placer County must plan to provide. This allocation constitutes the County's "fair share" of the regional housing need. To help the County meet these requirements, the PRSP's development plan designates land areas for the construction of 5,827 new residential units, of which nearly 35% are allocated as high-density. In addition, there is the potential for on-campus housing at the university site. Details regarding the provisions for new housing opportunities are outlined in the Land Use and Population & Housing sections of the PRSP.





PLACER Ranch

Section 03

**COMMUNITY
FRAMEWORK**

COUNTY
OF

Placer



Placer Ranch

03 community framework

- A. Vision for Placer Ranch
- B. Elements for a Flagship Community
- C. The Districts of Placer Ranch

03 community framework

A. Vision for Placer Ranch

Placer Ranch is a flagship community in South Placer; a place that is distinguished by its uniquely identifiable sense of place, job center, university campus, urban town center, and top-quality recreational amenities. Emphasis is placed on the design of the public realm, with tree-lined streets and wide landscaped parkways that establish a unified framework on which to build distinctive residential neighborhoods, office complexes, commercial centers, and neighborhood parks, and an extensive Class I trail system for pedestrians and bicyclists. The nucleus of Placer Ranch is its job center, comprised of the Campus Park, university campus, and Town Center.

Placer Ranch is located within the County's Sunset Area Plan (SAP), which is envisioned to become a large-scale employment hub in the region. Development of Placer Ranch is intended to contribute to the creation of a major employment center in the Sunset Area by providing a mix of supporting uses to spur development.



PLACER RANCH AN EXCEPTIONAL REGIONAL LOCATION

The development potential of Placer Ranch benefits significantly from its geographic location in the region. Amidst several large professional job centers, residential communities, and regional-serving retail establishments in the surrounding communities of Lincoln, Rocklin, and Roseville, Placer Ranch and the surrounding Sunset Area can become a major hub along the Highway 65 corridor. As the South Placer area continues to grow, Placer Ranch is well-positioned to provide new regional attractors that benefit the residents and businesses in the South Placer area.

Placer Ranch is founded on the notion of creating a major job center in South Placer, comprised corporate campuses, a university, and an urban town center. This embraces Placer County's vision for creating a regional job center in the Sunset Area and providing ample opportunities for professional office, research and development, and light industrial uses. In addition, Placer Ranch establishes the framework for development of higher-education facilities and the Town Center, which is modeled after a traditional downtown and provides a central place for residents, workers, and college students to shop, dine, work, and live.

The vision for Placer Ranch is to create a well-balanced community that is anchored by an employment center and public university, which strengthens South Placer as an economic hub in the Sacramento Region.

B. Elements of a Flagship Community

Several key visionary elements influenced the planning effort for Placer Ranch's development plan. Placer Ranch is a place with:

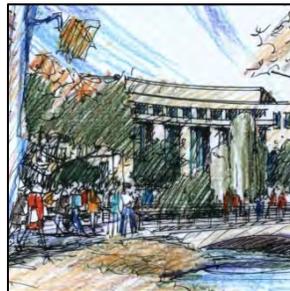
Many Choices for Employment

Campus Park is a new kind of job center. Situated along Placer Parkway adjacent to the town center and university, this employment core is envisioned to support a diverse mix of job clusters. New start-up technologies, biotech firms, research and development parks, corporate campuses, and other emerging businesses can be accommodated in the Campus Park. It will provide industries that complement the new community by expanding a major job center in the Sunset Area.



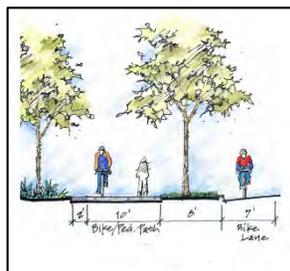
Public Higher Education

A university site for an off-campus center of the California State University, Sacramento is a key element of the development plan. Its significance lies in the ability to provide Placer County with an institution for higher learning, provide local businesses and industry with an educated work force, and enhance the quality of life and cultural opportunities for residents of South Placer County.



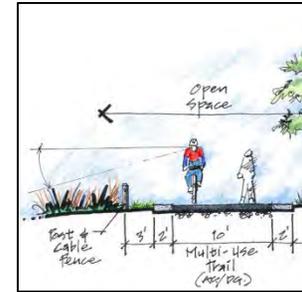
An Extensive Pedestrian & Bikeway Network

Multi-use Class I trails are a defining element of the Placer Ranch community. Threaded throughout the community's open space network and along wide, expansive landscape corridors, the pedestrian/bikeway system consists of multiple street-separated trails that link Placer Ranch's neighborhoods. For both bicycle riders and pedestrians, people can access the Campus Park, university site, and the Town Center from any neighborhood in Placer Ranch. This is a key element of the community's multi-modal mobility network.



Expansive Open Space Corridors

The open space network is a major identifying feature of Placer Ranch's development plan. To protect key natural resources and provide open vistas from streets and neighborhoods, congruent land areas are set aside as permanent open space. The open space areas are visually prominent throughout the community and function as a major amenity for residents, students, and the local workforce to enjoy in a passive manner.



A Vibrant Mixed-Use Town Center

The Town Center is the place where people want to go. This is where the work force, students, and residents can go to eat, to shop, to play, and to gather with friends and colleagues. The Town Center is modeled after a traditional, mixed-use downtown, with commercial and residential buildings fronting along a gridded street network. At full buildout, Placer Ranch's urban core will host restaurants, cafes, lounges, retail shops, service-type businesses, apartments, and lofts that collectively make the Town Center a one-stop destination.



Options for a Place to Live

Placer Ranch provides housing choices that are affordable for all segments of the population. From emerging professionals, families, students and faculty, and retirees, the diverse neighborhoods of Placer Ranch cater to everyone. Housing opportunities include single-family detached homes, small-lot detached homes, retirement communities, condominiums, apartments, lofts, and on-campus housing. In Placer Ranch, there's a home for everyone.



03 community framework

C. The Districts of Placer Ranch

Placer Ranch is envisioned to develop over time and ultimately form into several distinct neighborhoods, visually knit together via a well-designed public realm and system of multi-use Class I trails for bicyclists and pedestrians. As individual development projects occur during Placer Ranch's long-term buildout, these areas will be urbanized and will evolve to become unique, identifiable districts.

Placer Ranch is designed and planned in several districts, as identified on Figure 3-1:

- **Campus Park:** Generally located along the Placer Parkway corridor, the Campus Park implements the vision for creating a major job center within the Sunset Area Plan. A mix of uses are envisioned, ranging from office, research and development, retail, and light-industrial.
- **University:** Centrally located in the heart of the Plan Area, the university site is surrounded by major roadways, making it a visible landmark from all of Placer Ranch's neighborhoods. The site's central location places it in proximity to the Campus Park and Town Center.
- **Town Center:** Surrounded by the Campus Park and university site, the Town Center is Placer Ranch's primary urban core. It supports higher intensity uses and provides the local population with goods, services, dining, and residential opportunities.
- **University Creek Neighborhood:** Located west of Fiddymont Road, the University Creek Neighborhood is comprised of several residential villages organized around neighborhood parks and open space corridors. An elementary school and middle school are also located in this district, placing them in proximity to most of Placer Ranch's homes. This neighborhood is a place to live and play, where homes are close to Placer Ranch's recreational amenities, trail network, bikeways, and open space preserves.

→ **Campus Arcade Neighborhood:** Located south of the university site, Campus Arcade consists of several residential villages that are collectively anchored by a central park space. With proximity to the Town Center and university site, this neighborhood is envisioned to be a walkable place with excellent connectivity to nearby amenities. Residential development is envisioned to consist of single-family homes that are similar in scale and density to neighborhoods located to the south in the City of Roseville.

→ **Active Adult Neighborhood:** Located along the southern edge of the University Creek open space preserve, the Active Adult Neighborhood is planned to be developed as an age-restricted community. These residential villages are envisioned to include a mixture of single-family homes, with internal trails and a private recreation center that serves the neighborhood.

Each district is different, and as such, has a unique purpose and corresponding development pattern. Development in proximity to the Town Center, Campus Park, and university site are intended to have a more urban appearance, characterized by a higher intensity of uses, while development south of the university site and west of Fiddymont Road is intended to have a more suburban appearance. The intent is that each district will evolve over time and become an individually-identifiable place within Placer Ranch. In addition, the development plan provides for transitional land uses that are not included in any of the districts described above, but complement the uses in adjacent districts.

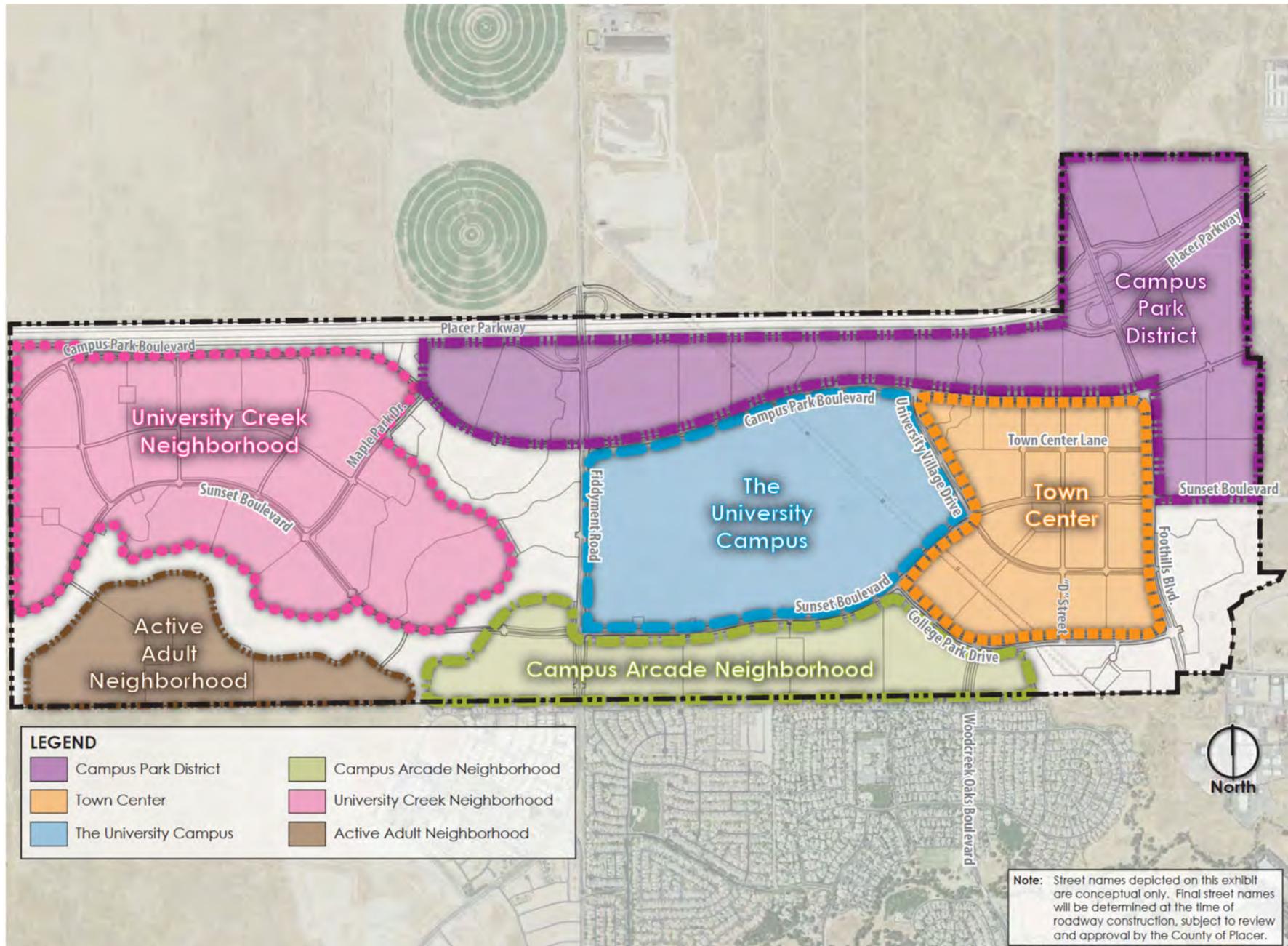


FIGURE 3-1: THE DISTRICTS OF PLACER RANCH

03 community framework



CAMPUS PARK

Placer Ranch's Campus Park is a large-scale employment center comprised of nearly 400 acres, with parcels generally sited along the Placer Parkway, Fiddymont Road, and Foothills Boulevard corridors.

The Campus Park is envisioned to become one component of major job-generating hub within the Sunset Area Plan and the entire South Placer region. It is comprised of large parcel configurations that offer flexibility to be developed for a single user, for a large corporate office campus, or for multiple users. This notion reinforces Placer County's vision for the Sunset Area Plan, which calls for the creation of a major job center in this area of the County.

It is anticipated that businesses will be attracted to this area where they can operate in proximity to the university and benefit from opportunities to collaborate with faculty and staff. The Campus Park also benefits from proximity to the Town Center, which provides business services and dining opportunities for the daytime employee population. Parcels in the Campus Park have excellent visibility and access to major roadways. With parcels aligned along the Campus Park and Foothills Boulevards, this district has direct access to Highway 65 via Sunset Boulevard, and to Placer Parkway via connections at Foothills Boulevard and Fiddymont Road.

The types of uses contemplated within the Campus Park are primarily professional in nature, yet are purposely flexible to respond to market forces over time. Predominantly low and mid-rise buildings are envisioned, providing space for professional offices, and research and development, innovation, and technology-oriented businesses. Lower-scale buildings are also appropriate, supporting light industrial facilities and ancillary warehousing functions. In addition, with proximity to the Town Center and the university campus, the Campus Park allows for some retail, restaurant, hotel, and similar uses, which are focused primarily to sites where Placer Parkway crosses both Foothills Boulevard and Fiddymont Road. At buildout, the Campus Park can accommodate nearly 5.4-million square feet of non-residential uses, making Placer Ranch a major job center along the Highway 65 and Placer Parkway corridors.

UNIVERSITY

One of the key elements of Placer Ranch is the establishment of a 301-acre site for development of the California State University, Sacramento – Placer Campus. Sierra College is participating in this endeavor and envisions having a permanent presence on campus, which would provide students who start at the Community College level the opportunity to transfer directly to the Sac State – Placer Campus (SSPC). For planning purposes, the site and planned infrastructure connections are sized to accommodate development of a full campus, akin to Sac State’s existing campus in Sacramento.

The university site is centrally located in the Placer Ranch community and is ringed by major roadways that give it visual prominence in the community. A conceptual campus land use plan (illustrated in Section 4) depicts the organization of land uses. This plan provides the initial vision and programming for the campus’ long-term buildout and is expected to evolve as the university develops over time. It is envisioned that on-site uses could include academic buildings, a student union, student/faculty-serving commercial areas, a recreation building, student and faculty housing, athletic fields, a stadium, a library, a performing arts center, outdoor gathering spaces, and other uses needed to support the SSPC.

As shown on the conceptual campus land use diagram, the central core of the site could be developed with academic buildings, support facilities, and housing, organized along a network of open space areas. Athletic fields and recreational facilities are shown in the northern areas of the site and would be accessible from Campus Park Boulevard. Because the campus land use plan is conceptual, the actual location of all facilities would be determined when a Campus Master Plan is prepared.

The campus is planned to grow in several phases in response to demand from the region. The first phase is anticipated to result in a population of 500-2,500 full time equivalent students (FTES), with 12,000 FTES estimated for the 20-year planning horizon. In addition, Sierra College is estimated to add 1,000 FTES during the first phase, with 5,000 FTES at the 20-year planning horizon. While starting small, the university site is sized to meet regional demands over time and ultimately accommodate 25,000 FTES from the SSPC and 5,000 FTES from Sierra College.



03 community framework



TOWN CENTER

The Town Center (TC) is envisioned as the urban core that will anchor all districts in Placer Ranch.

Located adjacent to the Campus Park and university site, the Town Center is the place where people will shop, dine, obtain services, and gather with friends and colleagues. The development pattern of this district is modeled after a traditional, urban town setting. Streets are to take the form of a gridded network, with short walkable blocks and on-street parking, with an emphasis on pedestrian mobility versus automobile travel. Along key pedestrian corridors, buildings are oriented to the street and aligned along wide sidewalks, allowing facades to define the street edge and frame the public realm. Streetscapes are further enhanced with broad tree canopies that provide shade and create an intimate, pedestrian scale at ground level, with coordinated street furnishings, signage, lighting, banners, and other elements that enrich the environment and strengthen the area's identity.

The vision for the Town Center is that buildings are comprised of a mix of retail establishments, office spaces, and apartment/loft-style homes, which directly respond to the needs of the daytime population created by the Campus Park and university's presence in the community. This urban core also supports a 24-hour population, with a local workforce that activates the TC during the daytime hours and a resident population that supports businesses during the nighttime hours. Over time, development projects in the Town Center could include major anchors such as a neighborhood grocer, movie theater, church, and hotel, with supporting restaurants, cafes, lounges, retail shops, professional offices, residential apartments and lofts, and service-type businesses that collectively make the Town Center a one-stop destination.

Because the Town Center is envisioned as an urban place, buildings are to have a mixture of uses akin to a downtown setting. Commercial, office, and residential uses are likely to be mixed horizontally or vertically on each site, meaning that a commercial building could have retail uses at the ground level with residential or office uses located above, or that a commercial/office building could share the same site with a residential building. At buildout, the Town Center supports over 600,000 square feet of commercial and/or professional office uses, plus 2,142 residential units.

UNIVERSITY CREEK NEIGHBORHOOD

The University Creek Neighborhood is located west of Fiddymont Road, north of the University Creek open space preserve.

It is comprised of a series of residential villages anchored by two, centralized school/park nodes and framed by natural, open space corridors. North of Sunset Boulevard, residential villages are organized along a central pedestrian paseo, which links the schools and parks, and gives form to the neighborhood's overall development pattern. The parks in this district are co-located with schools and provide central spaces for active recreational facilities for local residents. As such, the parks are sized for active programming and include play fields, ball courts, and other amenities that maximize opportunities for joint-use recreational facilities with the adjacent schools.

In addition to the larger neighborhood parks, several pocket parks are provided throughout the district, which are envisioned to offer less formal, passive recreation. These smaller parks provide a centralized green space within the villages and include tot lots, shade structures, sitting areas, and open turf areas for informal play.

The recreational aspect of the University Creek Neighborhood is further enhanced by a network of Class I trails that are designed for shared use by pedestrians and cyclists, which connect the residential villages to the central parks and schools, as well as to the nearby open space preserves. These street-separated trails are part of a larger network that ultimately provide connectivity to the Plan Area's open space preserves, shopping centers, the Campus Park, the university, and the Town Center.

Housing in this district consists primarily of low-density residential villages, with a mixture of conventional and small-lot, single-family, detached housing. In addition, higher-density, detached and attached housing opportunities are provided at the edges of this district, where sites have access to main roadways.

The University Creek Neighborhood emphasizes the ability to live and play, where development integrates the centralized recreational amenities into the form and character of each residential village.



03 community framework



CAMPUS ARCADE NEIGHBORHOOD

The Campus Arcade Neighborhood is located south of the university site along Sunset Boulevard and is situated along the southern edge of the Plan Area.

This neighborhood consists of a series of residential villages that are anchored by a central park space, located opposite one of the university site's potential entrances. Campus Arcade is envisioned as a walkable neighborhood that benefits from its proximity to the Town Center and university site.

Housing in this district consists primarily of low-density, single-family homes, with a mixture of conventional and small-lot, housing types. The density and development pattern throughout Campus Arcade is intended to mimic that of residential neighborhoods located to the south in the City of Roseville. Furthermore, villages are well-connected among one another, such that families can walk or bike to the central park space or to the amenities located in the Town Center.



ACTIVE ADULT NEIGHBORHOOD

The Active Adult Neighborhood is located along the southern edge of the University Creek open space preserve, in the south portion of the Plan Area.

This neighborhood is envisioned to develop as an age-restricted community with approximately 720 dwelling units. Its residential villages consist of a variety of single-family housing types, sized and designed to meet the needs of an active adult population. Because this neighborhood is surrounded by open space preserves, some of which are located in the City of Roseville, physical barriers such as residential view fencing and/or post and cable fencing would be incorporated to separate residential development from sensitive resource areas.

A private recreation center is planned to anchor the Active Adult Neighborhood. Located on an approximately 4-acre site, this facility is sized to become the central gathering hub for this neighborhood, providing a mix of indoor and outdoor recreational amenities for neighborhood residents. Pedestrian routes are envisioned throughout this neighborhood, connecting each residential village with the recreation center and the multi-use Class I trail system throughout the entire Placer Ranch community.



PLACER Ranch

Section 04

LAND USE PLAN

COUNTY
OF

Placer



Placer Ranch

04 land use

- A. Overview
- B. Land Use Plan
- C. Residential Uses
- D. Employment & Commercial Uses
- E. Public, Parks & Open Space Uses

04 land use

A. Overview

The land use framework for Placer Ranch is designed to achieve the overarching vision to create a major job center in the Sunset Area Plan (SAP) and to bring a university to South Placer. Land uses include a mixture of residential, commercial, employment, higher-education, and public-type uses. At buildout, the PRSP is planned to accommodate 5,827 dwelling units, ultimately housing approximately 13,677 residents. In addition, the PRSP adds approximately 9.3-million square feet of commercial, employment, and university-related non-residential uses to the SAP.

B. Land Use Plan

Placer Ranch’s land use plan defines the parcel boundaries, acreages, land use designations, and development allocations for each use in the Plan Area. Because land use planning has been conducted at a Specific Plan level, it is anticipated that minor adjustments to parcel boundaries and associated acreages will occur as large lot maps are processed and improvement plans for roadways are approved (per Subdivision Map Revisions in PRSP Section 10).

The components of the development plan include the following item:

- **Land Use Plan (Figure 4-1):** Diagram showing the roadway alignments, parcel boundaries, and land use designations.
- **Land Use Summary (Table 4-1):** Table summarizing total acreage for each land use, including development assumptions for each.
- **Development Allocation by Parcel (Table 4-2):** Table identifying each parcel in the Plan Area and its acreage and unit/square footage development allocation.

This section describes the PRSP’s land uses, which are implemented with the Placer Ranch Development Standards, a companion document to this Specific Plan. The development standards provide the zoning regulations for land development projects and contain details regarding permitted uses, yard setbacks, site coverage, building height, etc. In addition, the Placer Ranch Design Guidelines provide supplemental information regarding the design expectations for development projects.

TABLE 4-1: LAND USE SUMMARY

| Land Use Designation | Acres | % of Total Acres | Sq. Ft./ Units | % of Total Units |
|--|-------------------|------------------|---------------------|------------------|
| Residential Uses | | | | |
| Low Density Residential (LDR) | 407.6 ac | 18.4% | 2,039 du | 35.0% |
| Low Density Residential Age-Restricted (LDR-A) | 127.0 ac | 5.8% | 720 du | 12.4% |
| Medium Density Residential (MDR) | 130.8 ac | 5.9% | 1,057 du | 18.1% |
| High Density Residential (HDR)* | 93.2 ac | 4.2% | 2,011 du | 34.5% |
| Subtotal | 758.6 ac | 34.3% | 5,827 du | 100.0% |
| Employment and Commercial Uses | | | | |
| Campus Park (CP) | 394.0 ac | 17.8% | 5,363,733 sf | |
| University (UZ) | 301.3 ac | 13.6% | 3,000,000 sf | |
| General Commercial (GC) | 26.3 ac | 1.2% | 343,035 sf | |
| Commercial Mixed Use (CMU)* | 48.8 ac | 2.2% | 637,719 sf | |
| Subtotal | 770.4 ac | 34.8% | 9,344,487 sf | |
| Public, Parks, and Open Space Uses | | | | |
| Public Facilities - Schools (PF) | 32.0 ac | 1.4% | | |
| Public Facilities – County (PF) | 9.9 ac | 0.4% | | |
| Parks & Recreation (PR) | 53.0 ac | 2.4% | | |
| Open Space (OS) | 271.2 ac | 12.3% | | |
| Subtotal | 366.1 ac | 16.5% | | |
| Other | | | | |
| Placer Parkway (ROW) | 158.5 ac | 7.2% | | |
| Major Roads/ Landscape (HE/LSE) | 159.7 ac | 7.2% | | |
| Subtotal | 318.2 ac | 14.4% | | |
| Total | 2,213.3 ac | 100.0% | 5,827 du | 100.0% |

* 150 reserve units are included in the HDR unit total, which are permitted to be allocated to any parcel in the Town Center district. See HDR land use description for provisions regarding reserve units.

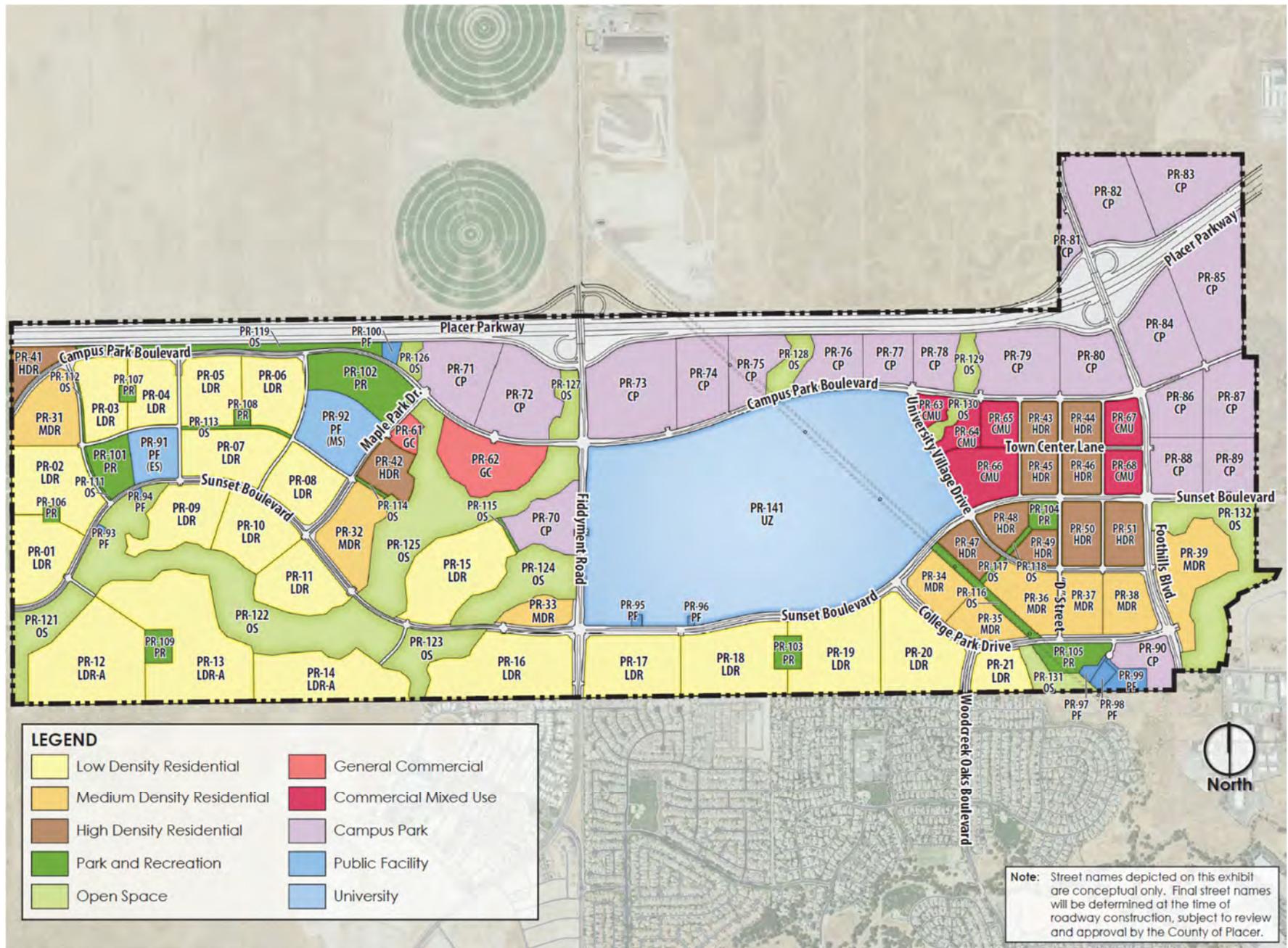


FIGURE 4-1: LAND USE PLAN

04 land use

TABLE 4-2: DEVELOPMENT ALLOCATION BY PARCEL

| Parcel | Land Use | Acres | Density/ Intensity | Unit Allocation | Square Footage ³ |
|--------|----------|----------|-----------------------|---------------------|--------------------------------|
| PR-01 | LDR | 21.12 ac | 5.0 du/ac | 106 du | |
| PR-02 | LDR | 26.32 ac | 5.0 du/ac | 132 du | |
| PR-03 | LDR | 16.04 ac | 5.0 du/ac | 80 du | |
| PR-04 | LDR | 13.93 ac | 5.1 du/ac | 71 du | |
| PR-05 | LDR | 18.01 ac | 5.0 du/ac | 90 du | |
| PR-06 | LDR | 18.38 ac | 5.0 du/ac | 92 du | |
| PR-07 | LDR | 21.36 ac | 5.0 du/ac | 107 du | |
| PR-08 | LDR | 17.53 ac | 5.0 du/ac | 88 du | |
| PR-09 | LDR | 20.70 ac | 5.0 du/ac | 104 du | |
| PR-10 | LDR | 19.83 ac | 5.0 du/ac | 99 du | |
| PR-11 | LDR | 20.47 ac | 5.0 du/ac | 102 du | |
| PR-12 | LDR-A | 42.58 ac | 5.7 du/ac | 241 du | |
| PR-13 | LDR-A | 53.49 ac | 5.7 du/ac | 303 du | |
| PR-14 | LDR-A | 30.95 ac | 5.7 du/ac | 176 du | |
| PR-15 | LDR | 32.65 ac | 5.0 du/ac | 163 du | |
| PR-16 | LDR | 36.59 ac | 5.0 du/ac | 183 du | |
| PR-17 | LDR | 26.29 ac | 5.0 du/ac | 131 du | |
| PR-18 | LDR | 29.98 ac | 5.0 du/ac | 150 du | |
| PR-19 | LDR | 30.49 ac | 5.0 du/ac | 152 du | |
| PR-20 | LDR | 27.87 ac | 5.0 du/ac | 139 du | |
| PR-21 | LDR | 10.04 ac | 5.0 du/ac | 50 du | |
| PR-31 | MDR | 17.78 ac | 8.0 du/ac | 142 du | |
| PR-32 | MDR | 18.57 ac | 8.0 du/ac | 149 du | |
| PR-33 | MDR | 7.76 ac | 8.0 du/ac | 62 du | |
| PR-34 | MDR | 11.48 ac | 8.0 du/ac | 92 du ¹ | |
| PR-35 | MDR | 9.74 ac | 8.0 du/ac | 78 du ¹ | |
| PR-36 | MDR | 15.22 ac | 8.0 du/ac | 122 du ¹ | |
| PR-37 | MDR | 11.36 ac | 8.5 du/ac | 96 du ¹ | |
| PR-38 | MDR | 12.94 ac | 8.5 du/ac | 109 du ¹ | |
| PR-39 | MDR | 25.93 ac | 8.0 du/ac | 207 du | |
| PR-41 | HDR | 8.16 ac | 19.7 du/ac | 161 du | |
| PR-42 | HDR | 10.23 ac | 20.0 du/ac | 205 du | |
| PR-43 | HDR | 7.19 ac | 20.0 du/ac | 144 du ¹ | 0 sf ² |
| PR-44 | HDR | 7.90 ac | 20.0 du/ac | 158 du ¹ | 0 sf ² |
| PR-45 | HDR | 7.20 ac | 20.0 du/ac | 144 du ¹ | 0 sf ² |
| PR-46 | HDR | 7.90 ac | 20.0 du/ac | 158 du ¹ | 0 sf ² |
| PR-47 | HDR | 8.42 ac | 20.0 du/ac | 168 du ¹ | |
| PR-48 | HDR | 7.75 ac | 20.0 du/ac | 155 du ¹ | |
| PR-49 | HDR | 5.69 ac | 20.0 du/ac | 114 du ¹ | |
| PR-50 | HDR | 11.46 ac | 20.0 du/ac | 229 du ¹ | |
| PR-51 | HDR | 11.27 ac | 20.0 du/ac | 225 du ¹ | |
| PR-61 | GC | 3.56 ac | 0.3 FAR | | 46,522 sf |

| Parcel | Land Use | Acres | Density/ Intensity | Unit Allocation | Square Footage ³ |
|--------|-------------------|----------|-----------------------|--------------------|--------------------------------|
| PR-62 | GC | 22.69 ac | 0.3 FAR | | 296,513 sf |
| PR-63 | CMU | 4.06 ac | 0.3 FAR | 0 du ¹ | 53,056 sf |
| PR-64 | CMU | 6.09 ac | 0.3 FAR | 0 du ¹ | 79,584 sf |
| PR-65 | CMU | 7.92 ac | 0.3 FAR | 0 du ¹ | 103,499 sf |
| PR-66 | CMU | 15.68 ac | 0.3 FAR | 0 du ¹ | 204,906 sf |
| PR-67 | CMU | 7.55 ac | 0.3 FAR | 0 du ¹ | 98,663 sf |
| PR-68 | CMU | 7.50 ac | 0.3 FAR | 0 du ¹ | 98,010 sf |
| PR-70 | CP | 15.52 ac | 0.31 FAR | | 211,266 sf |
| PR-71 | CP | 21.52 ac | 0.31 FAR | | 292,941 sf |
| PR-72 | CP | 26.08 ac | 0.31 FAR | | 355,014 sf |
| PR-73 | CP | 35.24 ac | 0.31 FAR | | 479,705 sf |
| PR-74 | CP | 19.62 ac | 0.31 FAR | | 267,077 sf |
| PR-75 | CP | 14.42 ac | 0.31 FAR | | 196,292 sf |
| PR-76 | CP | 12.86 ac | 0.31 FAR | | 175,057 sf |
| PR-77 | CP | 10.98 ac | 0.31 FAR | | 149,465 sf |
| PR-78 | CP | 10.38 ac | 0.31 FAR | | 141,298 sf |
| PR-79 | CP | 23.75 ac | 0.31 FAR | | 323,297 sf |
| PR-80 | CP | 17.58 ac | 0.31 FAR | | 239,308 sf |
| PR-81 | CP | 4.49 ac | 0.31 FAR | | 61,120 sf |
| PR-82 | CP | 26.92 ac | 0.31 FAR | | 366,449 sf |
| PR-83 | CP | 26.39 ac | 0.31 FAR | | 359,234 sf |
| PR-84 | CP | 25.74 ac | 0.31 FAR | | 350,386 sf |
| PR-85 | CP | 33.93 ac | 0.31 FAR | | 461,872 sf |
| PR-86 | CP | 13.84 ac | 0.31 FAR | | 188,397 sf |
| PR-87 | CP | 18.26 ac | 0.31 FAR | | 248,564 sf |
| PR-88 | CP | 13.17 ac | 0.31 FAR | | 179,277 sf |
| PR-89 | CP | 13.42 ac | 0.31 FAR | | 182,680 sf |
| PR-90 | CP | 9.92 ac | 0.31 FAR | | 135,036 sf |
| PR-91 | PF (School) | 10.65 ac | | | |
| PR-92 | PF (School) | 21.31 ac | | | |
| PR-93 | PF (Well) | 0.23 ac | | | |
| PR-94 | PF (Lift Station) | 0.54 ac | | | |
| PR-95 | PF (Lift Station) | 0.55 ac | | | |
| PR-96 | PF (Well) | 0.26 ac | | | |
| PR-97 | PF (RW Tank) | 1.09 ac | | | |
| PR-98 | PF (Electric) | 1.79 ac | | | |
| PR-99 | PF (Substation) | 4.01 ac | | | |
| PR-100 | PF (Water Tank) | 1.47 ac | | | |
| PR-101 | PR – Park | 9.13 ac | | | |
| PR-102 | PR – Park | 20.85 ac | | | |
| PR-103 | PR – Park | 4.00 ac | | | |
| PR-104 | PR – Park | 3.61 ac | | | |
| PR-105 | PR – Park | 7.79 ac | | | |
| PR-106 | PR – Park | 1.21 ac | | | |

| Parcel | Land Use | Acres | Density/ Intensity | Unit Allocation | Square Footage ³ |
|--------------|-------------------------------|---------------------|-----------------------|--------------------|--------------------------------|
| PR-107 | PR – Park | 1.21 ac | | | |
| PR-108 | PR – Park | 1.21 ac | | | |
| PR-109 | PR – Park/Rec Ctr | 4.00 ac | | | |
| PR-111 | OS – Paseo | 0.57 ac | | | |
| PR-112 | OS – Paseo | 0.62 ac | | | |
| PR-113 | OS – Paseo | 1.78 ac | | | |
| PR-114 | OS – Paseo | 0.59 ac | | | |
| PR-115 | OS – Paseo | 0.62 ac | | | |
| PR-116 | OS – Paseo | 5.31 ac | | | |
| PR-117 | OS – Paseo | 0.77 ac | | | |
| PR-118 | OS – Paseo | 0.77 ac | | | |
| PR-119 | OS – Paseo | 9.42 ac | | | |
| PR-121 | OS – Preserve | 16.69 ac | | | |
| PR-122 | OS – Preserve | 71.27 ac | | | |
| PR-123 | OS – Preserve | 14.79 ac | | | |
| PR-124 | OS – Preserve | 22.26 ac | | | |
| PR-125 | OS – Preserve | 58.31 ac | | | |
| PR-126 | OS – Preserve | 3.03 ac | | | |
| PR-127 | OS – Preserve | 6.96 ac | | | |
| PR-128 | OS – Preserve | 7.04 ac | | | |
| PR-129 | OS – Preserve | 5.70 ac | | | |
| PR-130 | OS – Preserve | 3.24 ac | | | |
| PR-131 | OS – Preserve | 6.89 ac | | | |
| PR-132 | OS – Preserve | 34.55 ac | | | |
| PR-141 | UZ – University | 301.27 ac | | | 3,000,000 sf |
| PR-200 | ROW Placer Parkway | 158.51 ac | | | |
| PR-201 | HE/LSE – Roads & Landscape | 159.73 ac | | | |
| Total | | 2,213.25 ac. | | 5,827 du | 9,344,487 sf |

- 1 The unit allocation for these parcels does not include any of the 150 reserve units, which are included in the HDR unit total on Table 4-1. The 150 reserve units are permitted to be allocated to any parcel in the Town Center district. Refer to the land use description for High Density Residential for additional information.
- 2 No formal square footage assumptions are allocated to HDR parcels north of Sunset Boulevard in the Town Center district, however these parcels may be developed as mixed-use projects with ground-level active uses, as permitted for parcels with a Town Center overlay outlined in the Placer Ranch Development Standards.
- 3 The square footage listed for each parcel is derived from an average floor area ratio, which is intended only to generate a cumulative non-residential square footage holding capacity for the entire Plan Area. Each parcel's actual development may generate more or less square footage than noted, provided that it is consistent with the provisions in this section and with applicable regulations in the Placer Ranch Development Standards.



C. Residential Uses

Placer Ranch's residential uses support an array of housing types, including both single-family detached and multi-family attached units. This includes an exclusive area for an age-restricted neighborhood as well as housing in a mixed-use environment within the Town Center.

In order to implement the project as envisioned, the PRSP includes several residential land use designations that collectively encourage a diverse mix of housing. This is comprised of Low Density Residential (LDR & LDR-A), Medium Density Residential (MDR), and High Density Residential (HDR) land uses, each with a unique density range that allows for a mixture of lot sizes that can accommodate a variety of housing types. Coupled with the land use specifications outlined in this section, the PRSP includes Development Standards and Design Guidelines that help ensure that building size, placement, architecture, and streetscapes in the residential areas are designed in a manner that uphold the desired community vision.

The majority of the residential neighborhoods are envisioned to consist of conventional-style detached housing units on both large and small lots. However, within the Town Center, higher-density residential neighborhoods are envisioned, which provides for units on smaller lots for detached cluster housing, detached townhomes, and other types of detached and attached residential units with product-specific siting characteristics.

Approximately 65% of Placer Ranch's residential units are designated for LDR and MDR, with the remainder, nearly 35%, planned for HDR. The PRSP's HDR units are primarily focused on parcels in the Town Center, and provide for an additional, 150 reserve units that can be utilized on any CMU, MDR, or HDR parcel in the Town Center. This will further intensify the concentration of housing within this district where proximity to the Campus Park job center, Town Center retail and service businesses, and the university site may be desired by residents. Information about each residential land use, including allowable density ranges, and permitted uses, is outlined in this section.

LOW DENSITY RESIDENTIAL (LDR & LDR-A)

Density Range:
1 to 7 dwelling units per acre

Description:

The Low Density Residential (LDR) land use designation supports single-family detached homes on conventional lots within the density range noted above. Lot sizes typically range between 4,500 and 7,500 square feet, but could be smaller or larger depending on site slope, natural features, and neighborhood design. Typical housing product types include front-loaded, alley-loaded, or clustered, single-family detached units.



In addition, the Low Density Residential - Age-Restricted (LDR-A) land use designation is applied to several parcels in the PRSP. The LDR-A land use is identical to LDR as described above, except that LDR-A is applied to parcels where an age-restricted community is to be developed. The LDR-A designation also permits private parks and recreation centers.

MEDIUM DENSITY RESIDENTIAL (MDR)

Density Range:
6 to 13 dwelling units per acre

Description:

The Medium Density Residential (MDR) land use designation accommodates both single-family detached homes and attached homes. Lot sizes are typically smaller than those in LDR areas, which allows greater densities per the range outlined above. Single-family detached housing in MDR areas is typically supported on standard or alley-loaded lots, courtyard lots, green court lots, auto courts, alley clusters, zero-lot lines, or z-shaped lots. In addition, duet/half-plex homes, townhomes, or condominiums are accommodated in this density range.



HIGH DENSITY RESIDENTIAL (HDR)

Density Range:

12 to 30 dwelling units per acre

Description:

The High Density Residential (HDR) land use designation accommodates attached housing, but depending on the unit type, could also include detached housing, within the density range noted above. The types of housing units that could be accommodated in this designation include, but are not limited to, detached townhomes, courtyard townhomes/condominiums, garden-style apartments, and podium design apartments/condominiums. In addition, these types of multi-family housing provide for both a mix of for-sale and for-rent units in support of the PRSP's affordable housing plan.

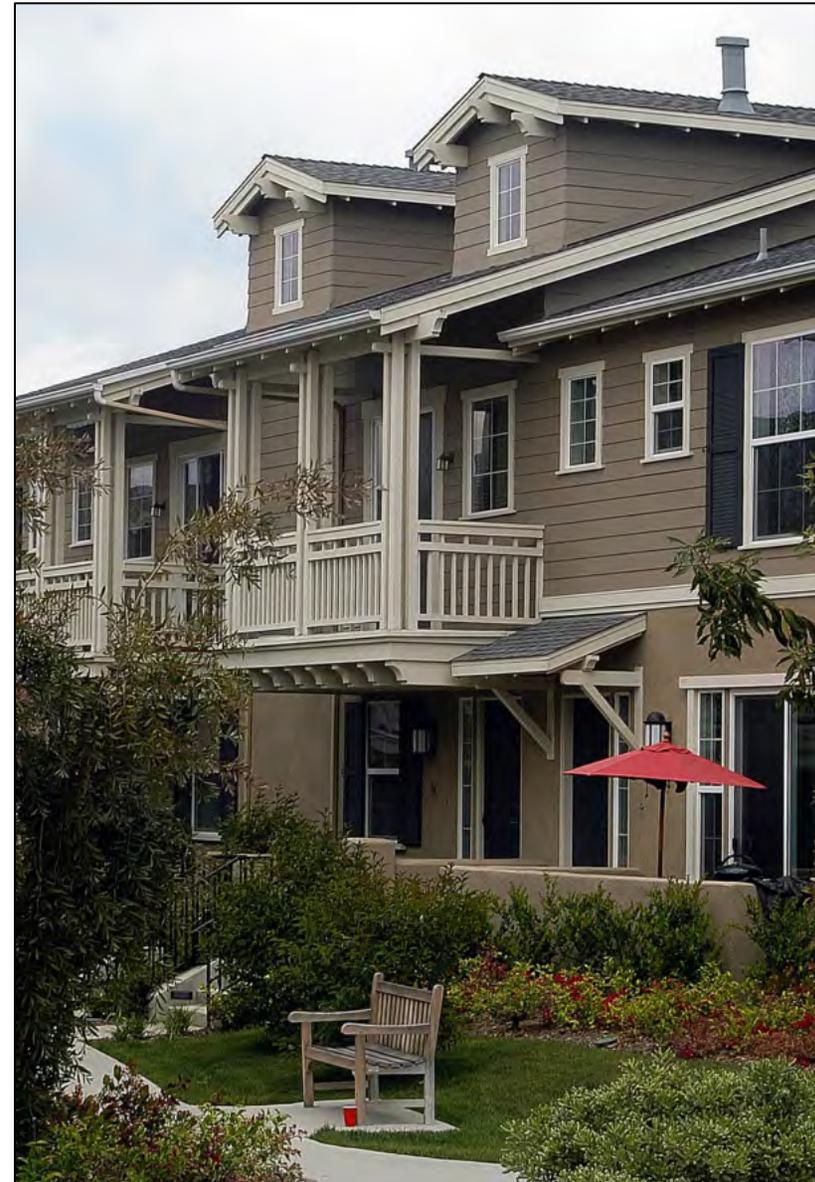


As noted in the land use description for Commercial Mixed Use (CMU) parcels, HDR is permitted on CMU parcels in the Town Center (TC) district. Conversely, to facilitate creation of an mixed-use urban core, ground-level commercial uses are permitted on HDR parcels north of Sunset Boulevard, particularly along Town Center Lane. This approach is further outlined in the PRSP Development Standards for the Town Center (TC) Overlay, which is applied to CMU and HDR parcels in the Town Center, north of Sunset Boulevard.

150 reserve units are included in the HDR unit total on Table 4-1. These units may be allocated to any parcel in the Town Center district, pursuant to the unit transfer provisions provided in Section 10, Implementation.

UNIT TRANSFERS & PARCEL MODIFICATIONS

As residential tentative subdivision maps are prepared during the PRSP's buildout, there may be a need to make minor adjustments to the unit allocation, size, or boundary of some large-lot parcels. These adjustments are permitted pursuant to the provisions in Section 10, Implementation.



D. Employment & Commercial Uses

To further the objective of creating a major job center in the community, significant land areas are allocated for the creation of large employment centers. The Campus Park and university parcels support approximately 9.3-million square feet of employment-generating uses. This includes nearly 8.4-million square feet for Campus Park and university related uses and nearly 1-million square feet for general commercial and mixed-use commercial uses.

There are four major components of Placer Ranch's non-residential, employment-generating uses:

- **University:** The 301-acre university site is sized to accommodate over 3-million square feet of space for classrooms, offices, and other spaces needed for the university's operations. The site could also accommodate housing for 5,000 students and 200 faculty/staff. Because the site is to be owned by the State of California, buildout of the campus is not subject to Placer County's local land use regulations. Therefore, the PRSP does not specify any permitted uses or development standards for the university site.
- **Campus Park:** As one of Placer Ranch's significant anchors, the Campus Park is a 400-acre job center located adjacent to the university site and Town Center. The land area designated for Campus Park is situated along Placer Parkway, Campus Park Boulevard, and Foothills Boulevard, giving it excellent visibility along major roadway corridors. Office, research and development, commercial/retail, light industrial, and warehousing uses are planned, collectively accommodating nearly 5.4-million square feet.
- **Town Center:** The Town Center (TC) is planned to accommodate nearly 650,000 square feet of commercial and office space, plus approximately 2,142 residential units. The residential component of the Town Center includes 150 reserve units that have not been allocated to any specific parcel(s), which can be utilized on any CMU, MDR, or HDR parcels within the TC district. The Town Center's land uses are described in this section, with details regarding permitted uses and development standards provided in the Placer Ranch Development Standards.

- **Neighborhood Serving Retail:** Several parcels west of Fiddymont Road have a commercial designation to provide neighborhood-serving retail and service establishments in proximity to neighborhoods. These sites support nearly 350,000 square feet of retail/office uses and augment the uses planned for the Town Center.

Descriptions of all non-residential land uses, including allowable floor area ratios, planned uses, and development capacities, is provided in this section.

UNIVERSITY (UZ)

Typical FAR: up to 0.4

Description:

The University (UZ) land use is provided exclusively for the development of a public university on an approximately 301-acre site. For planning purposes, the site is sized to accommodate approximately 30,000 students (up to 25,000 SSSC students and 5,000 Sierra College students) with over 3,000,000 square feet of building space, with areas for on-campus housing that could hold approximately 5,000 students and 200 faculty/ staff. These figures are only estimates for initial planning purposes – actual development will evolve over time.



On-site facilities could include multi-level buildings for classrooms, laboratories, and offices, and support facilities including a student union, dining halls, retail establishments, library, recreation center, and performing arts center. Housing could be provided in the form of multi-story dormitories and apartment buildings. Sporting facilities could include play fields, a stadium, and ancillary buildings, each with outdoor lighting. Outdoor recreational and gathering spaces are also possible, located throughout the campus. Parking is assumed via at-grade lots and multi-level garages.

Approximately 58 acres of open space are contained within the 301-acre university site. Because portions of the open space corridors contain sensitive wetland areas, campus development will incorporate the corridors as natural open space areas. Prior to development, Sacramento State will prepare a campus plan to guide the site's buildout plan. However, as a State entity, Sacramento State is not required to obtain development approvals from local agencies.

A conceptual diagram for the university site is provided on Figure 4-2. Additional information regarding the university is provided in Section 5.



FIGURE 4-2: CONCEPTUAL CAMPUS DIAGRAM

04 land use

CAMPUS PARK (CP)

Typical FAR: up to 0.5

Description:

The Campus Park (CP) land use designation allows for a variety of non-residential use types including professional office, research and development, commercial, and light industrial space. In order to direct certain uses geographically within the Campus Park job center, the Placer Ranch Development Standards establish several “sub-districts” for CP parcels. This is intended to allow a high-degree of flexibility while also maintaining compatibility with adjacent uses.



The sub-districts of Campus Park are described below, with a corresponding diagram, permitted use list, and development standards provided in the Placer Ranch Development Standards.

- **CP Parkway District:** Parcels located at the intersection of Placer Parkway and Foothills Boulevard emphasize retail, R&D, and office/ corporate campus uses. Development should be compatible with the planned uses in the adjacent areas of the Sunset Area Plan, without competing with uses planned in the Town Center.
- **CP Town Center District:** Parcels located adjacent to the Town Center emphasize R&D, office/ corporate campus, recreation club, community assembly, and limited commercial uses that do not compete with planned uses in the Town Center.
- **CP Innovation District:** Parcels located adjacent to the university site emphasize R&D, technology, innovation, and office uses in support of businesses that desire proximity to a higher-education institution.
- **CP Fiddymont District:** Parcels at the intersection of Placer Parkway and Fiddymont Road emphasize commercial/retail uses, with supporting office, restaurant, financial, and service uses that do not compete with uses in the Town Center.

While Campus Park can accommodate FARs up to 0.5, it is anticipated that the cumulative development will support 25% each of Research & Development and Commercial uses, 20% each of Office and Light Industrial uses, and approximately 10% of ancillary warehouse uses. This mix will shift as development evolves over time. A blended FAR throughout the entire district of 0.31 would result in nearly 5.4-million sq. ft. of these uses at buildout.

GENERAL COMMERCIAL (GC)

Typical FAR: up to 0.4

Description:

The General Commercial (GC) land use designation includes a broad range of retail goods and services, which can accommodate large-scale commercial centers, conventional neighborhood shopping centers, and mixed use commercial/ office developments.



Two GC parcels are included in the PRSP, both located to the west of Fiddymont Road in proximity to the University Creek Neighborhood district.

- **Parcel PR-61:** This site is envisioned as a small-scale commercial center with inline retail shops, restaurants, services, fuel stations, and/or office spaces. The site can accommodate nearly 50,000 sq. ft. of retail/office uses.
- **Parcel PR-62:** This site is envisioned as a large-scale shopping center that provides goods and services targeted to nearby residential neighborhoods. The site can accommodate nearly 300,000 sq. ft. of non-residential uses.

In general, the types of uses envisioned for GC parcels include grocery stores, drug stores, gas stations, dining establishments, and other local service-type uses. Additionally, neighborhood-serving professional uses are also appropriate, which could include uses such as medical offices, veterinarians, child care facilities, and similar uses.

COMMERCIAL MIXED USE (CMU)

Typical FAR: up to 1.0

Description:

The Commercial Mixed Use (CMU) land use designation allows for a mix of non-residential uses, with flexibility to incorporate high-density residential units within a development project. CMU parcels are located in the Town Center district and development is intended to follow a pattern that mimics a traditional small town environment.



As outlined in Section 3 of the Placer Ranch Development Standards, CMU parcels are part of a “Town Center Overlay” area where an urban development pattern is expected, which calls for Town Center Lane to function as the district’s primary retail spine. Additionally, the Section 6 of the Placer Ranch Design Guidelines include provisions for the Town Center’s urban form and design. This includes design guidance for creating a mixed-use core on the CMU parcels at the western edge of the district adjacent to the university site, and for creating a neighborhood shopping area anchored by a grocery store on parcels at the eastern edge of the district, along Foothills Boulevard.

Nearly 650,000 sq. ft. of non-residential space can be collectively accommodated on the CMU parcels. This is envisioned to include a mixture of retail, service, restaurant, office, medical, entertainment, hotel, or similar uses. Development is assumed at a mix of 75% commercial uses and 25% office uses, which may be mixed vertically or horizontally on a parcel or within a building.

In addition, CMU parcels may incorporate a residential component as an ancillary use to a commercial/ office project. Although no dwelling units are specifically allocated to any CMU parcels, units may be transferred to CMU sites from the pool of 150 reserve units or from other HDR parcels in the PRSP. The mix of commercial, office, and residential uses may be adjusted on a project-specific basis provided it meets the design intent described for the Town Center in Placer Ranch Design Guidelines.

Zoning regulations for development of CMU parcels are provided in the Placer Ranch Development Standards. Design guidance for the urban form and development of CMU parcels is outlined in Section 6 of the Placer Ranch Design Guidelines.



E. Public, Parks & Open Space Uses

Nearly 17% of the Placer Ranch Specific Plan has been designated for public uses and open space. As illustrated on the land use plan, this includes parcels for Public Facilities (PF), Parks and Recreation (PR), and Open Space (OS). The PRSP incorporates several parcels for PF uses to support development of schools and public facilities. Numerous park sites are also provided throughout the Plan Area's residential neighborhoods. Open Space areas are a significant attribute of the PRSP and consist of recreational paseos as well as preserves within the community and university site.

PUBLIC FACILITIES (PF)

Description:

The Public Facilities (PF) designation allows for several types of public-serving uses and facilities. Multiple PF sites are provided in the Plan Area, each serving a different function. This includes sites for an elementary school, middle school, three groundwater wells, a potable water tank, a recycled water tank, and two sewer lift stations.



In addition, this designation is applied to Roseville Power Plan 2 (RPP2), an electric peaking facility that was constructed in the Plan Area prior to Specific Plan approval. This facility has been integrated into the Placer Ranch development plan and has a PF land use designation to be consistent with similar uses in the PRSP. As a public utility owned and operated by the City of Roseville, RPP2 is not subject to the PRSP's development regulations, but is subject to applicable regulations contained in the Placer County Code that were in effect at the time of Specific Plan approval and Placer County issued Permits NCPA-87-001 and NCPB-87-001.

Details regarding these facilities are provided in Public Services and Utilities sections of this Specific Plan (Sections 8 and 9).

PARKS & RECREATION (PR)

Description:

The Parks and Recreation (PR) designation is for development of active park facilities. The PRSP includes several parks, which are sized between approximately 1 and 21 acres each. A 4-acre park site is also provided in the age-restricted community for development of a private park/recreation center.



Larger parks, sited adjacent to schools to maximize joint-use opportunities, include active play facilities such as ball fields and hard courts. Smaller pocket park focus on more passive recreation facilities, such as sitting areas, tot lots, and open lawn areas for informal play. Conceptual park plans are provided in the Placer Ranch Design Guidelines.

OPEN SPACE (OS)

Description:

The Open Space (OS) designation is applied to paseos and preserves. Open Space Paseos are fully-landscaped and function as linear parks, with informal play spaces, sitting areas, multi-use Class I trails that link parks and schools. Paseos are sited within residential neighborhoods.



Open Space Preserves consist of land areas where environmentally sensitive habitat are to be preserved in perpetuity. These areas may contain hazards, natural features, or man-made features. Open space areas provide passive recreation opportunities, Class I trails, wetland resource preservation, view sheds, flood water conveyance and detention, and stormwater quality treatment/ filtration features.

Although not designated as Open Space, the university site contains approximately 58 acres of open space preserve areas that function similarly as other preserves in the Plan Area. The open space preserves within the university site are envisioned to be integrated into the Plan Area's system of preserves and are a significant component of the PRSP's open space network. As a State entity, Sacramento State is not required to obtain approvals from local agencies for open space areas.



PLACER Ranch

Section 05

COMMUNITY EMPLOYMENT

COUNTY
OF

Placer



Placer Ranch

05 community employment

- A. Overview
- B. Community Employment Generation
- C. Campus Park Employment
- D. University Employment
- E. Commercial Employment

05 community employment

A. Overview

Creation of a major employment center is one of Placer Ranch’s primary project objectives. To that end, the development plan allocates significant land areas for development of non-residential uses, which collectively provide job growth opportunities in many business sectors. The Campus Park land use supports a variety of business types including research and development, business professional, light industrial, warehousing, and commercial. The University land use supports a variety of uses typical of a college campus setting. And finally, the General Commercial and Commercial Mixed Use land use designations support multiple retail and office business types. Collectively, these land uses provide the opportunity for significant employment generation in Placer Ranch.



B. Community Employment Generation

Employment and housing choices are highly linked, and planned developments that keep employment and housing opportunities in proportion to one another are better able to allow the work force to live and work in the same community. This live/work opportunity results in a lower amount of daily vehicle miles traveled per household, which reduces congestion on regional roadways and shortens commute times. The PRSP is anticipated to provide approximately 2.8 jobs per housing unit, which further reinforces Placer Ranch as a regional employment center.

Placer Ranch’s development plan, as part of the larger Sunset Area Plan, is designed to create primary wage-earner jobs. Job creation primarily occurs on the Campus Park and university parcels, which is augmented by job creation in commercial areas to the west of Fiddymont Road and within the Town Center. Table 5-1 provides an estimate of the potential jobs created through full buildout of the Plan Area. These figures do not capture the additional job creation within the balance of the Sunset Area Plan, but they do capture university-related jobs for faculty and staff.

At full buildout, Placer Ranch is estimated to create 16,448 jobs. This equates to approximately 2.8 jobs per household, assuming approximately 5,827 dwelling units in the Plan Area (excluding potential on-campus housing). As noted in the table below, a significant component of Placer Ranch’s estimated job creation results from development of the Campus Park and university.

TABLE 5-1: COMMUNITY EMPLOYMENT GENERATION ESTIMATES

| Land Use | Acres | Sq. Ft. | Jobs |
|-----------------------------|----------|-----------|--------|
| Campus Park | 394.0 ac | 5,363,733 | 8,754 |
| University | 301.3 ac | 3,000,000 | 5,733 |
| General Commercial | 26.3 ac | 343,035 | 686 |
| Commercial Mixed Use | 48.8 ac | 637,719 | 1,275 |
| Total | 770.4 ac | 9,344,487 | 16,448 |

C. Campus Park Employment

The development plan allocates approximately 394 acres to the Campus Park land use, which supports a variety of business sectors. These include research and development, professional office, light industrial, commercial, warehousing, and similar business sectors that support the project objectives to create a major employment center. For planning purposes, development assumptions and employment estimates have been applied to each of these sectors, which cumulatively generate nearly 5.4-million square feet of development and approximately 8,754 jobs. Detailed estimates for the Campus Park are provided in Table 5-2, below.



TABLE 5-2: CAMPUS PARK DEVELOPMENT & EMPLOYMENT ESTIMATES

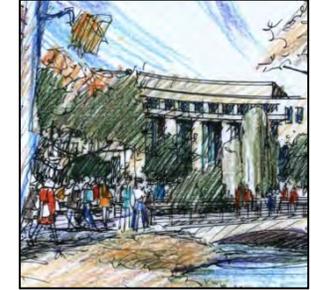
| Business Type | % of CP | FAR | Sq. Ft. | Jobs |
|------------------------|-------------|------------------|------------------|--------------|
| Research & Development | 25% | 30% | 1,287,296 | 2,575 |
| Professional Office | 20% | 30% | 1,029,837 | 2,060 |
| Light Industrial | 20% | 40% | 1,373,116 | 1,373 |
| Commercial | 25% | 25% | 1,072,746 | 2,145 |
| Warehouse | 10% | 35% | 600,738 | 601 |
| Total | 100% | 31% (avg) | 5,363,733 | 8,754 |

The employment estimates noted above assume one job for every 500 sq. ft. of space in the research and development, professional office, and commercial land uses. For light industrial and warehouse uses, the estimates assume one job per 1,000 sq. ft. of space.

Due to the flexible nature in which the Campus Park can develop over time, it is anticipated that actual development yields, mix of business types, and job creation will be different than the figures listed in the table above. This is acceptable provided that the long-term buildout of the Campus Park is consistent with the project objectives and vision for this major component of Placer Ranch's employment center.

D. University Employment

Development of a university and its associated operations are a major component of the employment generation estimates for Placer Ranch. The significance of the university lies in the ability to provide Placer County with a public institution for higher learning, provide local businesses and industry with an educated work force, and further enhance the quality of life and cultural opportunities for residents of South Placer. The Sunset Area and Placer County will benefit from the presence of a university in Placer Ranch, which is anticipated to attract business sectors that desire proximity to its population of faculty and students.



As indicated in the Land Use section, there are three key elements of the university site's potential development:

- **Academic Buildings, Support Facilities and Housing:** This component includes academic buildings, a student union, student/faculty-serving commercial areas, offices, a library, a performing arts center, and similar university-related buildings. It also accommodates on-campus student housing, such as dormitories and apartments, as well as housing for faculty and staff.
- **Sports/Recreation Facilities:** This includes areas of the campus for sporting and recreational facilities, including outdoor athletic fields, a recreation building, and a lighted stadium.
- **Open Space Preserves:** This includes approximately 57.5 acres of land set aside within the 301-acre site for permanent preservation as open space.

The university's first phase is anticipated to result in a population of 500-2,500 full time equivalent students (FTES), with 12,000 FTES estimated for the 20-year planning horizon. Sierra College is estimated to add 1,000 FTES during the first phase, with 5,000 FTES at the 20-year planning horizon. For planning purposes, full buildout of the university site is estimated to accommodate 30,000 students and 3,000,000 square feet of building space. In addition, on-campus housing could support approximately 5,000 students and 200 faculty/staff. Using these assumptions for planning purposes, it is estimated that the university and related operations could generate approximately 5,733 jobs.

05 community employment

E. Commercial Employment

The development plan allocates approximately 75 acres to the General Commercial (GC) and Commercial Mixed Use (CMU) land uses, which collectively support a mixture of commercial and professional office business types.

GC sites support a broad range of retail goods and services, which can accommodate large-scale commercial centers, conventional neighborhood shopping centers, and mixed use commercial/ office developments. CMU sites support a mixture of retail, service, restaurant, office, medical, entertainment, hotel, and similar uses, and for planning purposes, cumulative CMU development is assumed to be comprised of 75% commercial uses and 25% office uses.

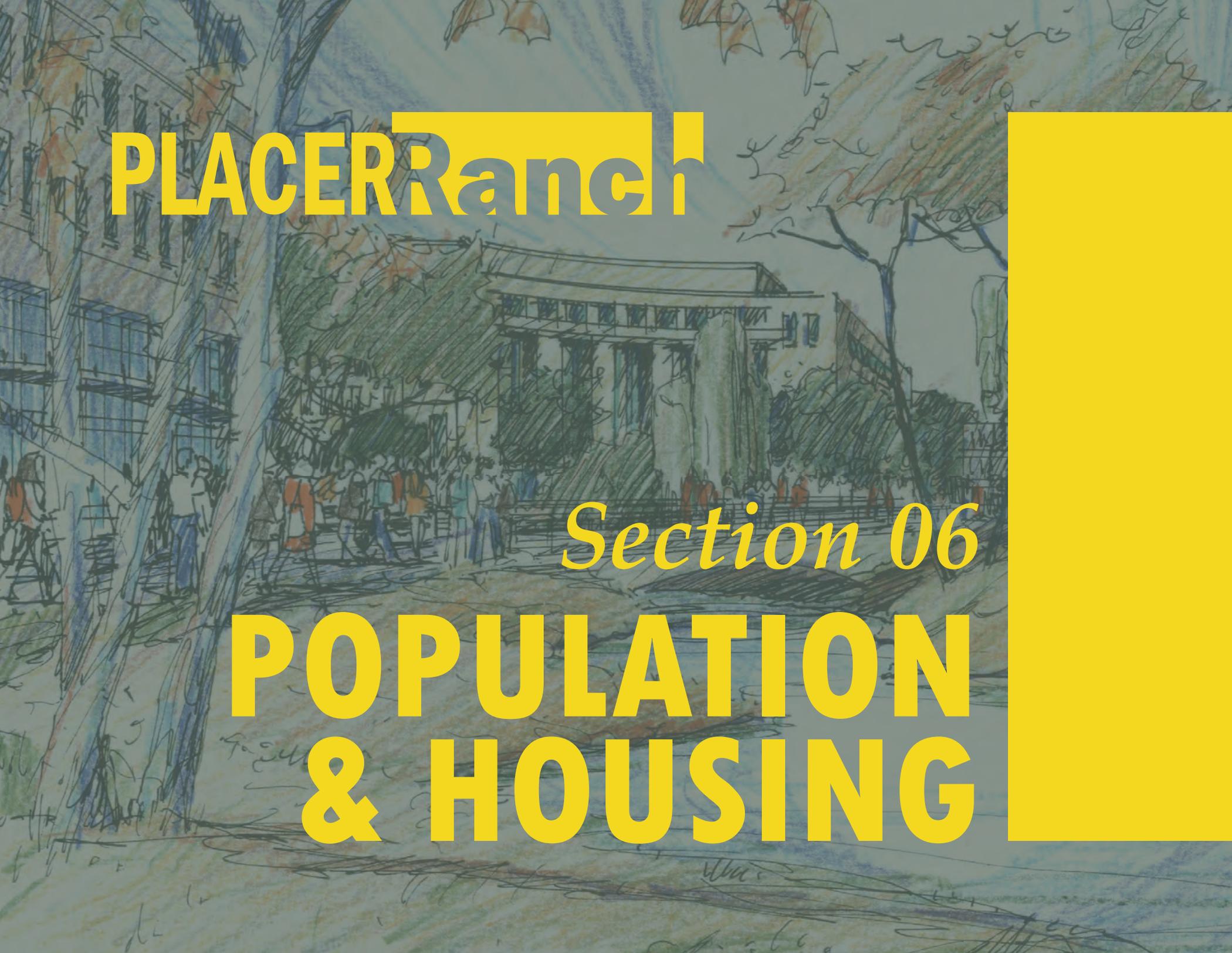
Combined, the development assumptions and employment estimates for GC and CMU sites could generate over 980,000 square feet of development and approximately 1,961 jobs. Detailed estimates for these land uses are provided in Table 5-3.

TABLE 5-3: GC & CMU DEVELOPMENT & EMPLOYMENT ESTIMATES

| Business Type | Acres | FAR | Sq. Ft. | Jobs |
|----------------------|----------------|------------------|----------------|-------------------|
| General Commercial | 26.3 ac | 30% | 343,035 | 686 jobs |
| Commercial Mixed Use | 48.8 ac | 30% | 637,719 | 1,275 jobs |
| Total | 75.1 ac | 30% (avg) | 980,754 | 1,961 jobs |

The employment estimates noted above assume one job for every 500 sq. ft. of commercial or office space. Due to the flexible nature in which the commercial areas can develop over time, particularly in the CMU land uses, it is anticipated that actual development yields, mix of business types, and job creation will be different than the figures listed in the table above. This is acceptable provided that the long-term buildout of Placer Ranch's commercial areas is consistent with the project objectives and broad vision for Placer Ranch.





PLACER Ranch

Section 06

POPULATION & HOUSING

COUNTY
OF

Placer



Placer Ranch

06 population & housing

- A. Overview
- B. Population Estimates
- C. Housing Plan

A. Overview

This section describes Placer Ranch’s population estimates and a housing plan, including opportunities for affordable housing. For housing affordability, residential builders are encouraged to explore creative approaches in providing a range of housing opportunities to meet the needs of different household income segments. Over time, housing markets, income categories, funding programs, and other factors change, and it is important to retain some level of flexibility to ensure that affordable housing goals can be achieved.



B. Population Estimates

Full buildout of Placer Ranch’s LDR, MDR, and HDR sites is estimated to result in a population of 13,677 people. Residential population estimates are summarized in Table 6-1, below. Additionally, potential development of on-campus housing at the university site could create an additional population of 5,000 students and 200 faculty/staff at full campus buildout.

TABLE 6-1: RESIDENTIAL POPULATION ESTIMATES

| Household Type | Units | Factor (pph) | Population |
|--------------------|-----------------|--------------|---------------|
| LDR and MDR | 3,096 du | 2.7 | 8,359 |
| LDR Age-Restricted | 720 du | 1.8 | 1,296 |
| HDR* | 2,011 du | 2.0 | 4,022 |
| Total | 5,827 du | | 13,677 |

* The HDR unit total includes 150 reserve units, which are permitted to be allocated to any parcel in the Town Center district, including CMU parcels.

C. Housing Plan

California state law (Government Code Section 65584) requires that cities and counties plan to accommodate a fair share of their region’s housing construction needs. The Sacramento Area Council of Governments (SACOG), representing the six-county region, determines the regional housing needs and adopts a Regional Housing Needs Plan (RHNP) that allocates to each jurisdiction in SACOG’s purview, the housing needs for various income groups. In September 2012, SACOG adopted the 2013-2021 RHNP and established a housing allocation that Placer County must plan to accommodate within the Plan’s horizon.

Implementation of SACOG’s RHNP in Placer County is implemented by the goals, policies, and programs contained in the Housing Element of the Placer County General Plan. The Housing Element outlines the County’s population and employment trends and projections, and quantifies existing and projected housing needs for all income levels. The General Plan embeds policies and programs to implement housing goals for new construction, affordable housing, conservation/rehabilitation, and other housing needs. This includes policies and programs for the County to use in

providing for an adequate housing supply to meet its fair share allocation of the region’s housing needs. For new development areas, this is achieved by designating sites for housing opportunities that support all income levels, which includes both market-rate housing and affordable housing as described herein.

HOUSING AFFORDABILITY

The definition of housing affordability is based on median household income levels and household size, as established annually by the California Department of Housing and Community Development (HCD). Four income categories are used for comparative purposes and are based on a percentage of Placer County’s area median income (AMI). All jurisdictions in Placer County utilize the same basic income calculations irrespective of actual income levels. These income categories are outlined in Table 6-2.

TABLE 6-2: HOUSEHOLD INCOME CATEGORIES

| Income Category | Percent of Income |
|------------------------------|----------------------|
| Very-Low Income | Less than 50% of AMI |
| Low Income | 51% to 80% of AMI |
| Moderate-Income | 81% to 120% of AMI |
| Above-Moderate-Income | Above 120% of AMI |

It is recognized that various factors contribute to housing affordability, which change over time in response to current market conditions. As such, project-specific affordability standards are to be established and adjusted as development occurs. Additionally, any development of on-campus housing at the university site for students, faculty, and staff could augment Placer Ranch’s overall housing affordability.



06 population & housing

AFFORDABLE HOUSING PROGRAM

Placer Ranch's development plan provides various housing types to meet the needs of a variety of household types including young adults, families, seniors, students, and faculty. The General Plan Housing Element requires that new development projects satisfy their affordable housing obligations by providing ten percent (10%) of residential units as affordable to lower income households, or dedicating land to accommodate the affordable housing requirement, or paying an in-lieu fee in an amount equivalent to providing the units.

To satisfy the County's General Plan affordable housing requirement, 10% of Placer Ranch's planned housing units are to be made available at an income-qualified level, pursuant to the policies and programs outlined in the Housing Element. The affordable housing requirement for the PRSP is 583 units. The distribution of affordable units by income category is summarized in Table 6-3.

The PRSP will satisfy its affordable housing obligation as follows:

- * Very-low, low, and moderate-income units will be accommodated as rental units within HDR sites.
- * Moderate income units may be accommodated as purchase units in LDR and MDR sites as well.

TABLE 6-3: AFFORDABLE HOUSING DISTRIBUTION

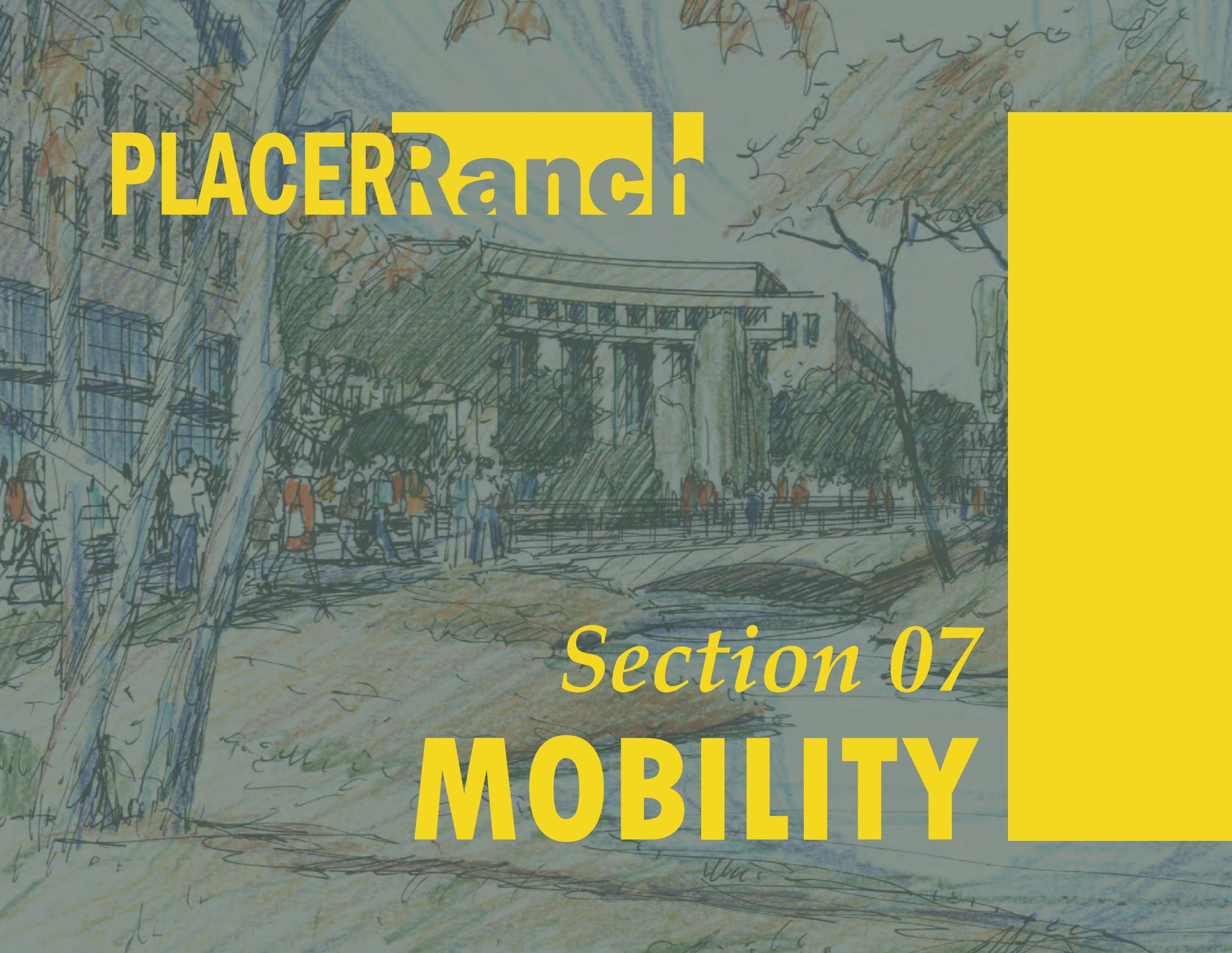
| Income Category | Units Needed to Meet Goal |
|---------------------|---------------------------------|
| 40% Very-Low Income | 233 du |
| 40% Low Income | 233 du |
| 20% Moderate-Income | 117 du |
| Total Need | 583 du (10% of 5,827 du) |



Obligations for affordable housing are further described in the Placer Ranch Development Agreement. Residential builders are encouraged to explore creative approaches in providing a range of housing opportunities to meet the needs of moderate, low- and very-low income households.

The County and project developer(s) are required to enter into an Affordable Housing Agreement(s), or equivalent mechanism, prior to approval of Small Lot Tentative Subdivision Map(s) for residential development. Through this process, this Agreement(s) will identify parcels with an affordable housing obligation, phasing for development of affordable housing, and housing affordability for each unit and corresponding deed restrictions and obligations. Affordable units shall be developed generally concurrently and in proportion with development of the market rate units within the balance of the Property. The affordable units may be provided as either purchase or rental affordable units or a mixture of both as described above.

Additional units may be assigned in accordance with the Residential Density and Incentives Ordinance, (Placer County Zoning Ordinance 147.54.12). An amendment to this Specific Plan is not required to utilize residential density bonuses and incentives.

An architectural sketch of a street scene. On the left is a multi-story building with a grid of windows. In the center is a large, modern building with a flat roof and a prominent vertical element. The street is filled with people walking. There are trees with sparse foliage on the right and in the background. The overall style is a loose, expressive line drawing with some color washes in shades of blue, green, and orange.

PLACER Ranch

Section 07

MOBILITY

COUNTY
OF

Placer

Placer Ranch



07 mobility

- A.** Mobility Plan Overview
- B.** Existing Roadways
- C.** Placer Parkway
- D.** Planned Roadways
- E.** Bicycle & Pedestrian Mobility Plan
- F.** Public Transit
- G.** Park and Ride Facilities

A. Mobility Plan Overview

Placer Ranch’s mobility system offers residents, students, and employees multiple options to move about the community. The system is far more than a conventional, master-planned circulation network. It integrates an extensive network of street-separated multi-use Class I trails, Class II bike lanes, public transit, and roadways into a single, comprehensive system.

Placer Ranch’s roadway system is designed for the efficient movement of automobiles, bicyclists, and transit users. An interconnected street network is planned, which utilizes existing and planned roadways within and adjacent to the Plan Area. The intent is to offer a wide variety of mobility choices that provide internal and external connectivity.

This chapter describes the components of Placer Ranch’s mobility system. This includes plans for roadways, bikeways, pedestrian paths, public transit stops. Additional design requirements are outlined in the following:

- **Design Standards:** Requirements for the size and design of roadways, Class I trails, Class II bike lanes, sidewalks, and similar features are addressed in the Placer Ranch Development Standards.
- **Streetscape Design:** Guidelines for the appearance of roadways and associated landscape corridors, which is a critical component of Placer Ranch’s identity, attractiveness, and character, are provided in the Placer Ranch Design Guidelines.
- **Roadway Phasing:** Phasing and funding of roadway improvements are summarized in Section 10, Implementation. Roadway phasing and construction obligations are outlined in the Placer Ranch Development Agreement.

B. Existing Roadways

REGIONAL ROADWAYS

Regional roadways in proximity to the Plan Area provide automobile access from outside the South Placer area. Regional roads that serve Placer Ranch include:

- **Interstate 80 (I-80):** Located approximately 9 miles south of the PRSP, I-80 provides access to the San Francisco Bay Area and Lake Tahoe. I-80 is accessible via State Route 65.
- **State Route 65 (SR 65):** Located approximately 1 mile east of the PRSP, SR 65 provides access from Roseville northward to Lincoln, rural Placer County, and the counties of Yuba and Sutter.

LOCAL ROADWAYS

At the time of Specific Plan approval, several roadways provided access to the PRSP and influenced the planned roadway system. These include:

- **Fiddymont Road:** This two-lane, north/south roadway transects the center of the Plan Area and extends from the City of Roseville northward to the City of Lincoln. South of the PRSP, within the City of Roseville, Fiddymont Road is designed as an arterial. North of the PRSP, Fiddymont Road functions as a rural, two-lane highway.
- **Sunset Boulevard:** Two segments of this roadway are located adjacent to, or within, the Plan Area. In the eastern portion of the Plan Area, Sunset Boulevard extends westward into the PRSP from Highway 65 where it terminates and transitions to Foothills Boulevard. A separate and non-connecting east/west roadway segment, named Sunset Boulevard West, is located along the PRSP’s northern boundary. This segment extends westward from Fiddymont Road and is not located within the PRSP’s boundaries.
- **Foothills Boulevard:** Within the Plan Area, this two-lane, north/south roadway extends from the western terminus of Sunset Boulevard northward to its terminus at Athens Road. A separate and unconnected segment of Foothills Boulevard is located south of the Plan Area in the City of Roseville, generally extending from Pleasant Grove Creek southward to Interstate 80. These roadway segments are planned to be connected.

C. Placer Parkway

Placer Parkway, a regional thoroughfare, is planned for construction through the PRSP. Placer Parkway is designed as a high-speed, limited access, four-lane regional roadway between Highway 65 in Placer County and Highway 99 in Sutter County. A corridor has been identified for construction of Placer Parkway, a 3.25-mile portion of which extends through the Plan Area. (See Figure 2-3.)



To accommodate Placer Parkway in the PRSP, a 312'-wide corridor along the northern edge of the Plan Area is planned. The PRSP's circulation plan anticipates two key connection points to Placer Parkway: one at Fiddyment Road and one at Foothills Boulevard. The first phase of Placer Parkway is the roadway segment between Highway 65 and Foothills Boulevard. The design and construction of Placer Parkway are managed by the Placer County Transportation Planning Agency.

D. Planned Roadways

Placer Ranch's roadway system is comprised of arterial and collector streets, which form a network with access to each parcel in the Plan Area. During initial development phases, vehicular access to the Plan Area is planned via improvements to, and/or the extension of, Fiddyment Road, Sunset Boulevard, Foothills Boulevard, and Woodcreek Oaks Boulevard. The type and locations of all PRSP roadways are shown on Figure 7-1, Roadway Key Map. Information regarding each major roadway's size, lane capacity, right-of-way, and other requirements are summarized in Table 7-1, Roadway Summary.

STREET DESIGN CRITERIA

While the location and general design of all roadway types is illustrated in this section, the Placer Ranch Development Standards and Placer Ranch Design Guidelines provide additional requirements and/or design guidance.

- * Design details for all roadways are provided in the Placer Ranch Development Standards (PRDS). All public roads are to be designed and constructed per the design sections provided in the PRDS, and where the PRDS is silent, the Placer County Land Development Manual shall govern.
- * Landscaping guidelines and related design details are provided in the Placer Ranch Design Guidelines.
- * Construction of arterial and collector roadways are to be phased pursuant to the construction obligations and timing requirements outlined in the Placer Ranch Development Agreement.

TABLE 7-1: ROADWAY SUMMARY

| Roadway Type/ Name ¹ | Roadway Lane Capacity | Highway Easement | Landscape Corridor ³ | | Landscape Median | Parking | On-Street Bike Lane | Devel. Standards Fig. # |
|--|-----------------------|------------------|---------------------------------|-------------------------------------|------------------|-----------|---------------------|-------------------------|
| | | | Adjacent to LDR & MDR | Adjacent to Other Uses ⁴ | | | | |
| Arterial Roadways⁴ | | | | | | | | |
| 6-Lane Arterial (portions of Fiddlyment Rd., Foothills Blvd., & Sunset Blvd.) | 6 | 96' | 35' | varies | 14' | none | included | 7-2 |
| 4-Lane Arterial (portions of Sunset, Campus Park, & University Village) ² | 4 | 90' | 35' | varies | 30' | none | included | 7-3 |
| 4-Lane Arterial (Campus Park & College Park at Town Center edges and Campus Park west of Maple Park) | 4 | 80' | 35' | varies | 20' | none | included | 7-4 |
| 4-Lane Arterial (transition to collectors) | 4 | 74' | 35' | varies | 14' | none | included | 7-5 |
| Collector Roadways⁵ | | | | | | | | |
| Collector Street | 2 | 48' | 35' | varies | none | none | included | 7-6 |
| Collector with Median (Campus Park Blvd. & Sunset Blvd.) | 2 | 58' | 25'/30' | varies | 20' | none | included | 7-7 |
| Collector in Town Center (University Village Drive) | 2 | 62' | 25' | 25' | 20' | none | included | 7-8 |
| Local Roadways⁶ | | | | | | | | |
| Major Residential (w/ designated on-street parking) | 2 | 42' | n/a | n/a | none | on-street | none | 7-9 |
| Primary Residential (standard & including option w/ paseo) | 2 | 40' | n/a | n/a | none | on-street | none | 7-10 |
| Town Center Lane (Alternative #1 in Town Center) | 2 | 56' | n/a | n/a | 14' | on-street | none | 7-11a |
| Town Center Lane (Alternative #2 in Town Center) | 2 | 56' | n/a | n/a | none | on-street | included | 7-11b |
| "D" Street (in Town Center) | 2 | 54' | n/a | n/a | none | on-street | included | 7-12 |
| Town Center Local Street (typical design) | 2 | 40' | n/a | n/a | none | on-street | none | 7-13 |
| Minor Residential (detached sidewalk) | 2 | 56' | n/a | n/a | none | on-street | none | 7-14 |
| Minor Residential (attached sidewalk) | 2 | 44' | n/a | n/a | none | on-street | none | 7-15 |

Footnotes:

1. Refer to Roadway Key Map in Figure 7-1 for the location of various roadway segments. Refer to the Placer Ranch Development Standards for roadway design specifications.
2. Depending on traffic requirements, segments of Campus Park Drive immediately east and west of Fiddlyment Road may be six lanes.
3. Landscape corridors vary depending on adjacent land uses. Refer to each street section's notes in the Placer Ranch Development Standards for specific requirements.
4. Along Park frontages, landscape corridors are not required (landscaping and sidewalks are constructed with park improvements). Along Open Space frontages, a Landscape Easement (LE)/Public-Use Easement (PE)/Multi-Purpose Easement (MPE) is provided (width varies depending on roadway type) with post and cable fencing located at 3' from back of walk. At culvert crossings, sidewalk is monolithic.
5. Ancillary right-turn lanes, bus turn-out's, and standard tapers are permitted reductions to the landscape corridors (LE/PE/MPE) or paseos.
6. Type 1 rolled curb and gutter permitted on local street where individual residential driveways are provided.

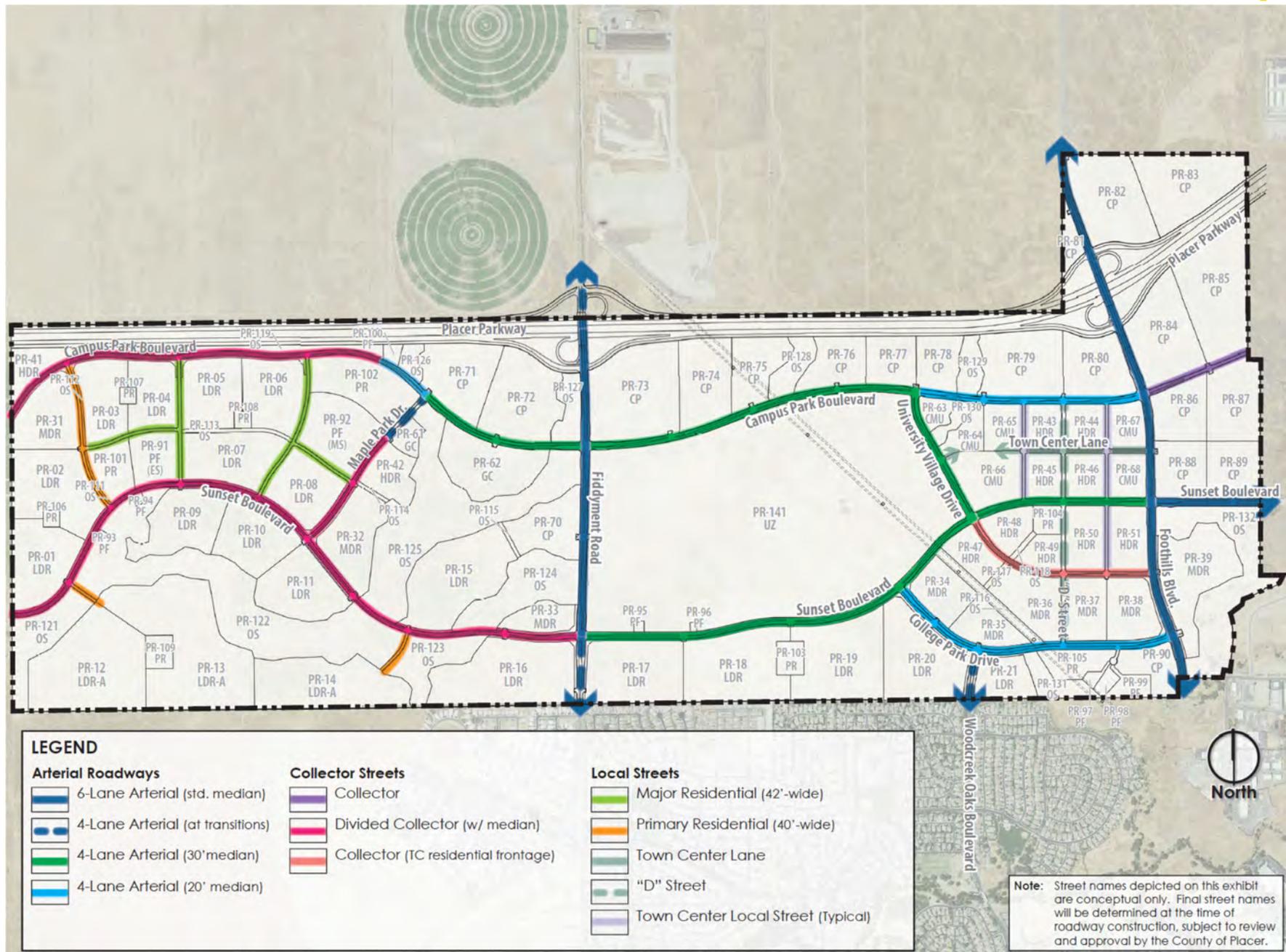


FIGURE 7-1: ROADWAY KEY MAP

ARTERIALS AND COLLECTORS

Arterial roadways are designed for the movement of high traffic volumes and function as the primary circulation routes within the Plan Area. These facilities provide connections among collector and local streets to regional-serving roadways and typically have restricted and/or consolidated access. Collector streets are secondary circulation routes that generally distribute trips from the arterial street system to the local street system.

In the PRSP, arterials have between 4 to 6 lanes and collectors have 2 lanes, and both typically include landscape medians, bikeways, and landscaped edges with detached sidewalks. Sidewalks along arterial streets also function as Class I corridor trails, which provide an option for bicyclists to ride on a street-separated path versus riding on the street. Design specifications are provided in Section 7 of the Placer Ranch Development Standards.

Roadways with an Arterial or Collector status include:

- * Fiddymment Road
- * Foothills Boulevard
- * Sunset Boulevard
- * Campus Park Boulevard
- * College Park Drive
- * Woodcreek Oaks Boulevard
- * University Village Drive

LOCAL STREETS

Compared to arterials and collectors, local streets have the lowest traffic volumes and are designed to provide direct access to homes and businesses. Local streets are designed to allow homes to front directly on the street, as indicated in the PRSP Development Standards for residential development. Typically, these street types include two travel lanes with on-street parking and an adjacent sidewalk. Several design standards for local streets are permitted in the PRSP, depending on the application and desired interface between homes and the street. These include:

- * Major Residential Streets
- * Primary Residential Streets
- * Minor Residential Streets

TRAFFIC SIGNALS AND MEDIAN BREAKS

The land use plan and roadway plan identifies locations for traffic signals and median breaks in order to provide automobile access to individual large lot parcels. Identifying the location of these facilities consolidates and minimizes left turn movements along major roadways, thereby enhancing the efficiency of traffic flow and minimizing interruptions to the landscaped medians. Depending on the final development plans for subsequent projects, additional traffic signals and median breaks may be permitted without amending this Specific Plan, subject to review and approval by the County and provided that applicable streetscape design guidelines are satisfied. The anticipated locations of traffic signals and median breaks on major roadways are illustrated on Figure 7-2.

ROUNDBABOUTS

Roundabouts are circular street intersections where automobiles travel around a center island in a counterclockwise direction. These features are generally used on collector or local roadways and do not include any stop controls. The intent is to improve intersection efficiency by slowing traffic at street intersections, while keeping traffic flowing and allowing for convenient pedestrian crossing.

Roundabouts are permitted at street intersections on collector and local streets where traffic conditions warrant, subject to review and approval by the County. Some potential locations for roundabouts in the Town Center district are shown on Figure 7-2, however they may be constructed in other locations, such as the residential districts west of Fiddymment Road. A typical standard for roundabout design is provided in Section 7 of the Placer Ranch Development Standards.

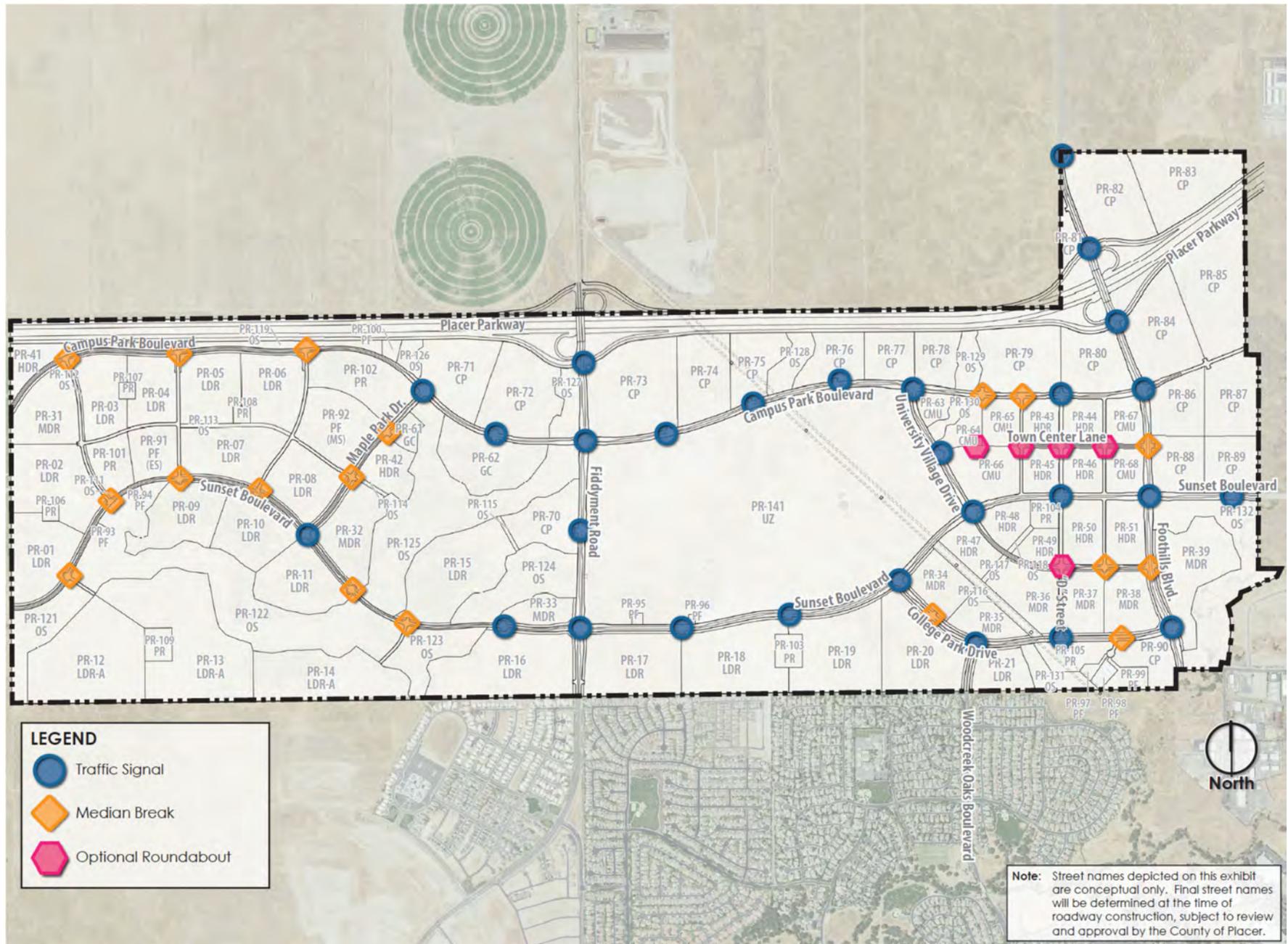


FIGURE 7-2: TRAFFIC SIGNALS & MEDIAN BREAKS

E. Bicycle & Pedestrian Mobility Plan

Placer Ranch's bicycle and pedestrian system consists of a network of multi-use Class I trails that link the residential neighborhoods, the Campus Park, the university site, the Town Center, and recreational hubs in the community. This network functions both as an amenity for pedestrians and recreational bicyclists, as well as a functional transportation alternative for cyclists. Augmenting the Class I network is a system of Class II bike lanes that are incorporated into the design of arterial and collector-level roadways. Together, this extensive network of Class I trails and bike lanes provides mobility choices, which enhances connectivity within the community and creates a valuable recreational amenity.

The Bicycle and Pedestrian Mobility Plan (Figure 7-3) establishes the planned routing for all Class I and Class II bikeway facilities within the Plan Area. When fully constructed, it will result in a comprehensive system of street-separated trails and on-street bike lanes that connect Placer Ranch's various districts. This network also includes linkages to existing/planned bikeways located in the City of Roseville, south of Placer Ranch.

BIKEWAYS AND MULTI-USE PATHS

The Bicycle and Pedestrian Mobility Plan is comprised of two key elements: Class I trails and Class II bike lanes. The locations of each type of facility are illustrated on Figure 7-3.

Class I Trails

These facilities consist of street-separated, paved, Class I trails that are multi-use – shared among bicyclists and pedestrians. Placer Ranch's Class I trails form a comprehensive, street-separated network. Several types of trails are planned, which all have a minimum 10'-wide dimension, as summarized below:

→ **University Perimeter Pathway:** This facility is aligned along the perimeter of the university site, creating a continuous corridor that links the community with the campus' internal circulation system. Its primary function is to collect and disperse bicycle commuters to and from access points surrounding the campus. Given its function, the pathway's design is 12'-wide to accommodate a larger volume of users.

→ **Class I Trail:** These bikeway/pedestrian facilities are located within both open space preserves and open space paseo parcels. Its design is comprised of a 10'-wide paved trail with a DG shoulder (either one 4'-wide shoulder or two 2'-wide shoulders). In the open space preserves, the Class I trails function as a recreational amenity in the natural, undeveloped edges of the community, linking residential neighborhoods, shopping centers, and the university site. Where open space paseos are planned in the University Creek Neighborhood and the Town Center, Class I trails enhance connectivity to the community's districts from within residential neighborhoods. This network provides a Class I trail access point to most residential neighborhoods in Placer Ranch.

→ **Class I Corridor Trail:** Along major roadways, landscape corridor sidewalks are upsized to function as a Class I facility. Consisting of a 10'-wide paved path, these facilities provide direct access to employment hubs and retail centers.

Class II Bike Lanes

Throughout Placer Ranch, Class II on-street bike lanes are included on arterial roads and collector streets. These facilities consist of dedicated on-street lanes within the paved roadway for the sole use of bicyclists. Generally, bike lanes are 4'-wide (not including the adjacent gutter), but have a wider dimension within the residential areas of the Town Center. All Class II bike lanes are to be delineated with signage and pavement markings.

SIDEWALKS

Sidewalks are included along all public streets and are a key component of pedestrian mobility within residential neighborhoods. Along major roadways, sidewalks are generally 10'-wide (12'-wide adjacent to the University site) and function as Class I corridor trails for pedestrians and bicyclists. In the University Creek Neighborhood, the landscape corridors along Campus Park Boulevard and Sunset Boulevard have a unique design with a 10'-wide on one side of the street. On residential streets, sidewalks are typically 5'-wide.

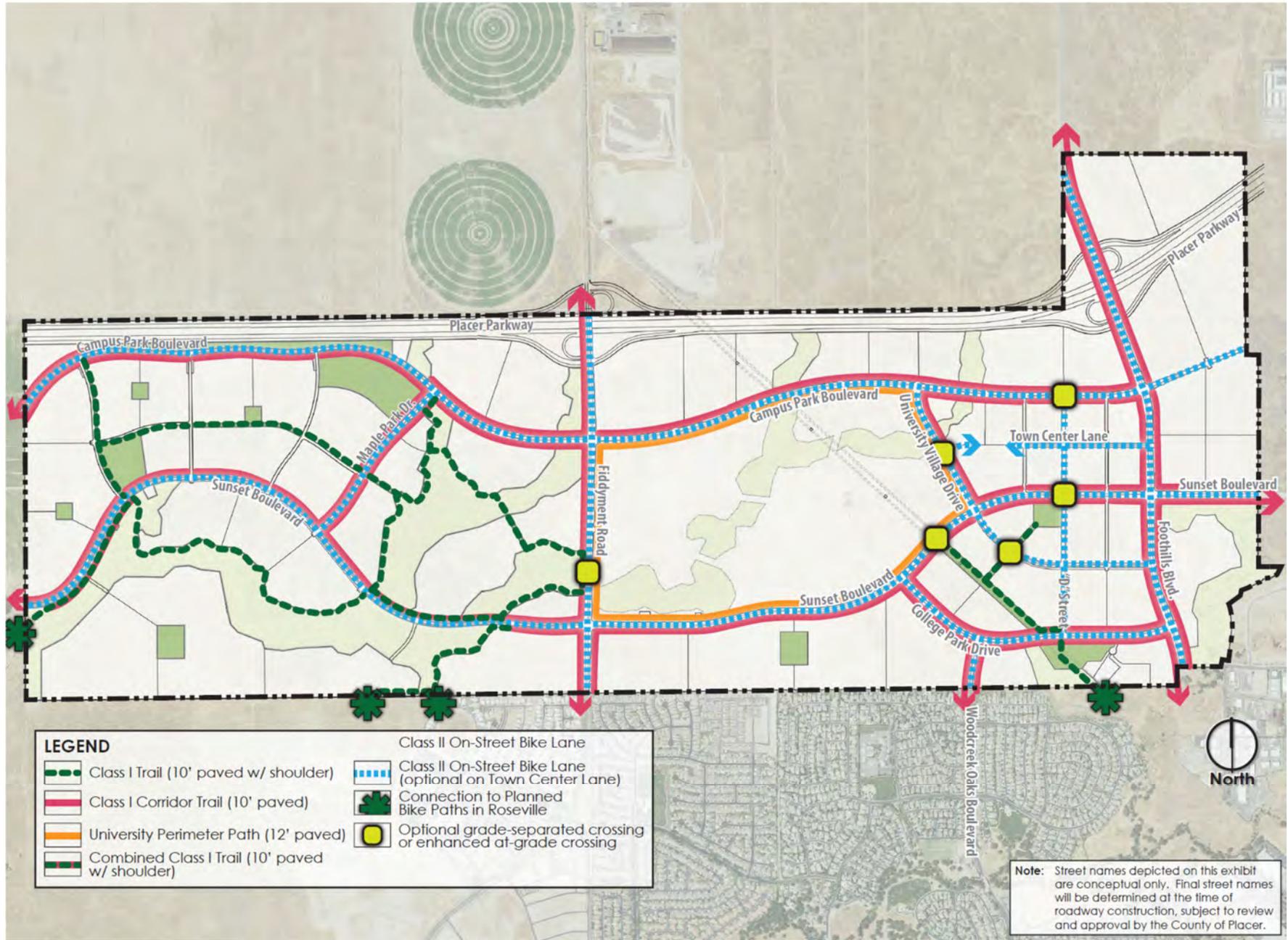


FIGURE 7-3: BICYCLE AND PEDESTRIAN MOBILITY PLAN

F. Public Transit

Placer County Transit provides fixed route, paratransit (curb-to-curb service), and dial-a-ride services within the County. Placer County Transit also operates the Placer Commuter Express (PCE), which is a weekday commuter bus service that transports riders from various stops along the Interstate 80 corridor to downtown Sacramento. The fixed route local and commuter systems operate on regularly scheduled routes, with the paratransit and dial-a-ride system providing demand-responsive curb-to-curb service. Placer County Transit users have access to both Roseville Transit and Sacramento Regional Transit at designated transfer points, giving users the opportunity to travel throughout the region.

In addition, the Placer County Transportation Planning Agency (PCTPA) has completed conceptual plans for a bus rapid transit (BRT) line that would extend through the Sunset Area, providing an express commuter service connection with regional employment centers and transit hubs. As envisioned, BRT would follow an east/west route through Placer Ranch and would likely use segments of Placer Parkway, Campus Park Boulevard, and Foothills Boulevard. The BRT route is conceptual and would operate in mixed-flow lanes (i.e. no dedicated lane) and would share the roadway travel lanes with automobiles. Although an actual BRT route will be determined when a future Transit Master Plan is completed, a conceptual BRT route is illustrated on Figure 7-4.

To facilitate transit use within the PRSP, high-intensity uses such as High-Density Residential, Commercial Mixed Use, and Campus Park land uses are located in proximity to major transportation corridors and potential transit stops. To support the long-term expansion of transit routes throughout the community, bus turnouts are planned at frequent locations along arterial roadways. These are to be designed as roadway improvement plans are prepared for street construction.

Figure 7-4 illustrates locations for bus pull-out's and shelters, including a conceptual route for bus rapid transit through the Plan Area. A future Transit Master Plan will determine where transit routes will be established and where bus pull-out's and shelters will be located.



G. Park and Ride Facilities

Park and ride lots provide parking for commuters to leave their vehicles to meet carpools, vanpools, or access transit. Placer Ranch includes a potential location for a park and ride lot in the Campus Park, at the intersection of Placer Parkway and Foothills Boulevard. This facility is centrally located in an employment hub that serves both Placer Ranch and the Sunset Area. Figure 7-4 identifies the conceptual location for a park and ride lot.

Park and ride spaces are provided in addition to the minimum parking requirement on the site. Parking spaces are to be installed with project development and maintained by the project developer. Additional details regarding the obligations for the construction of park and ride lots is included in the Placer Ranch Development Agreement.

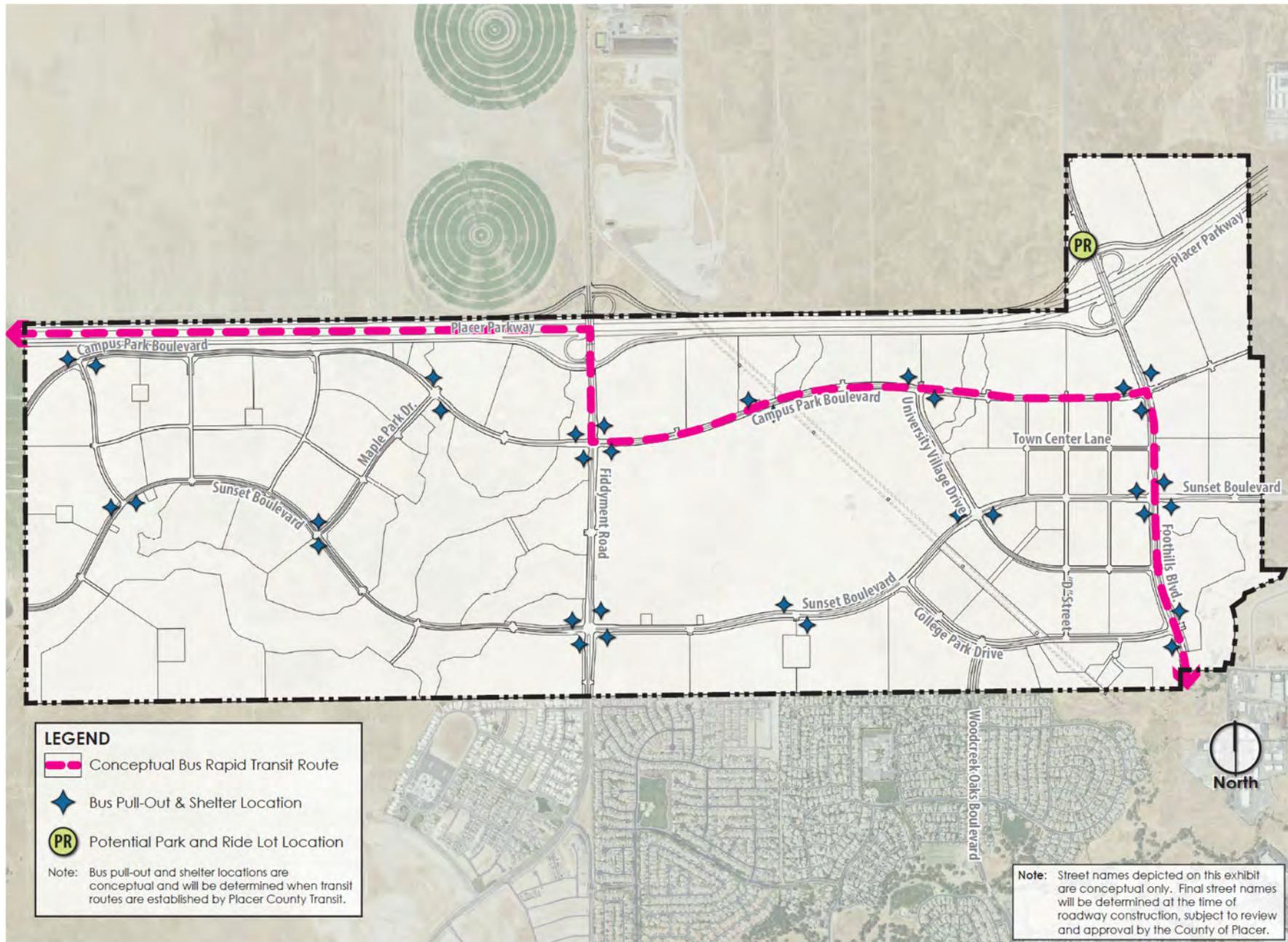
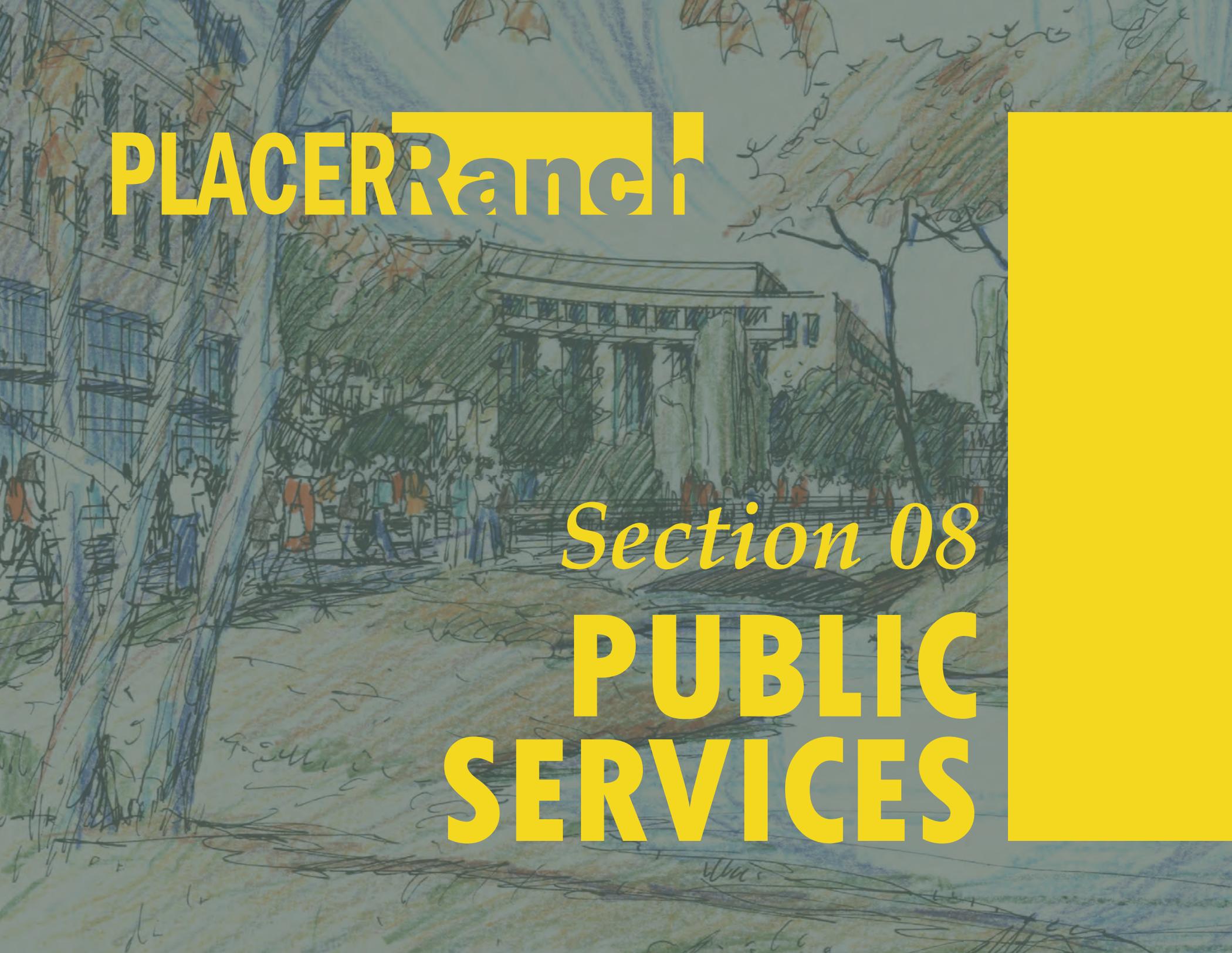


FIGURE 7-4: PUBLIC TRANSIT FACILITIES

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An architectural sketch of a street scene. On the left is a multi-story building with a grid of windows. In the center is a two-story building with a flat roof and a covered walkway. On the right is a tree with sparse leaves. The ground is a mix of light and dark tones, suggesting a paved area. The overall style is loose and expressive, using blue, green, and brown tones.

PLACER Ranch

Section 08

PUBLIC SERVICES

COUNTY
OF

Placer



Placer Ranch

08 public services

- A. Public Services Overview
- B. Parks and Open Space
- C. Schools
- D. Library Services
- E. Law Enforcement
- F. Fire and Emergency Services

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A. Public Services Overview

This section summarizes the plan for public services and facilities in the Placer Ranch Specific Plan (PRSP), including parks and open space, schools, library services, law enforcement, and fire and emergency services. Phasing and financing obligations relating to public services are outlined in the Placer Ranch Development Agreement and in Section 10, Implementation. The public service providers to the PRSP are summarized below:

| Public Service | Provider |
|--------------------------------------|---|
| Parks and Recreation | <ul style="list-style-type: none"> * Placer County, or * Placer Vineyards Park District |
| Schools | <ul style="list-style-type: none"> * Roseville City School District (Elementary/Middle School) * Roseville Joint Union High School District (High School) * Western Placer Unified School District (Elementary/Middle/High School) |
| Library Services | <ul style="list-style-type: none"> * Placer County |
| Law Enforcement | <ul style="list-style-type: none"> * Placer County Sheriff's Department * California Highway Patrol |
| Fire & Emergency Services | <ul style="list-style-type: none"> * Placer County Fire * California Department of Forestry & Fire Protection (CAL FIRE) |

B. Parks and Open Space

The PRSP includes numerous public parks and open space areas that provide active and passive recreation opportunities for residents. Parks are located throughout the residential villages in a manner that places these amenities in walkable proximity to most homes. The design of park spaces varies by size. Larger parks are co-located with school sites and are designed with active play facilities in order to maximize opportunities for joint-use recreation. Smaller parks are embedded within the residential neighborhoods and have less formal amenities, allowing these features to function as central green spaces for surrounding homes.

Open space paseos and open space preserves augment the PRSP's park facilities. Open space paseos are sited throughout the villages to link residential neighborhoods with schools, parks, and the multi-use Class I trail system. They function as fully-landscaped linear park features and typically include passive recreational amenities and a Class I trail. The open space preserves contain natural resources and generally transect the Plan Area in a northeast to southwest direction along the University Creek drainage corridor. Multi-use Class I trails are planned within these corridors, further enhancing the portfolio of recreational amenities included in the parks system.

Funding for long-term, ongoing maintenance of parks, open space paseos, and open space preserves may be funded by a Community Facilities District, County Service Area, or other funding mechanism, as described in Section 10, Implementation. This includes the option for Placer Ranch to annex into the Placer Vineyards Park District, which funds urban levels of park services and recreational amenities in the South Placer area.



PARKS AND OPEN SPACE REQUIREMENTS

The Placer County General Plan requires that new development areas provide ten acres of parkland for every 1,000 residents. This requirement is satisfied through two land-dedication components: 5 acres of active parks and 5 acres of passive recreation/open space. The PRSP meets Placer County’s standards through a combination of land dedication for parks and open space, as well as payment of in-lieu fees.

A total of 5,827 dwelling units are allocated for development in Placer Ranch, which at buildout, generates an estimated population of 13,677 residents, as noted in Table 8-1. Based on this population, the County’s standard of ten acres per 1,000 residents generates the need for 136.8 credited acres of parks and open space. The General Plan park dedication requirements are noted in Table 8-2, Summary of Park Requirements and Credits.

TABLE 8-1: ESTIMATED POPULATION

| Household Type | Population Factor | Population |
|--------------------|---------------------------|---------------|
| LDR & MDR | 2.7 persons per household | 8,359 |
| LDR Age-Restricted | 1.8 persons per household | 1,296 |
| HDR & CMU | 2.0 persons per household | 4,022 |
| Total | | 13,677 |

TABLE 8-2: SUMMARY OF PARK & OPEN SPACE REQUIREMENTS AND CREDITS

| Park Type | General Plan Requirement | Credited Acreage Required | Total Acreage Provided | Credited Acreage Received | Surplus/Shortfall |
|---|--------------------------|---------------------------|-------------------------|---------------------------|--------------------------|
| Active Parks | 5 acres /1,000 residents | 68.4 acres | 53.0 acres ² | 51.0 acres ³ | -17.4 acres ⁴ |
| Passive Recreation/ Open Space/ Paseos ¹ | 5 acres/1,000 residents | 68.4 acres | 271.2 acres | 271.2 acres | 202.8 acres |
| Total | | 136.8 acres | 324.2 acres | 322.2 acres | 185.4 acres |

1. Open Space acreage does not include approximately 57.5 acres of open space on the university campus site.
2. Acreage includes a 4-acre site for a private park/ recreation facility provided in the active adult community (LDR-A).
3. Acreage includes a 50% credit (2 acres) for a 4-acre private park/ recreation facility, which is permitted by Placer County.
4. Any parkland dedication shortfall is to be satisfied via payment of in-lieu fees or other provisions as outlined in Development Agreement.

PARKS & OPEN SPACE PROVIDED

Placer Ranch includes 324.2 acres for parks and open space paseos/preserves. Of this total, approximately 53.0 acres are designated for active parks, which includes a 4-acre private recreation facility in the active adult community, and 271.2 acres are designated for open space paseos and preserves. In addition, approximately 57.5 acres of open space would be included in the 301.3-acre university campus, which are not accounted for in Table 8-2. The locations of parks, open space paseos, and open space preserves are shown on Figure 8-1.

CREDITED PARKS & OPEN SPACE

As noted in Table 8-2, Placer Ranch is required to dedicate 68.4 credited acres of active park land and 68.4 credited acres of open space land in order to comply with the General Plan’s park land dedication requirements. These requirements can be satisfied through land dedications, in-lieu fee payments, or a combination of both. Land for both active use parks and land for passive-use open space/paseos each receive 100% credit towards each General Plan land dedication requirement. Private active parks and associated facilities, such as private recreation centers, may receive up to a 50% credit towards the General Plan land dedication requirement depending on the amenities provided.

To satisfy Placer Ranch’s active park requirements, the park parcels shown on the land use plan are to be dedicated to the County, with land dedication shortfalls addressed through payment of in-lieu fees or other mitigation as outlined in the Development Agreement. For passive recreation, the open space/ paseo parcels shown on the land use plan are also to be dedicated, but because there is a passive recreation land dedication surplus, no in-lieu fee would be required for this component. As Placer Ranch builds out, if adjustments to park sizing occur as Small Lot Tentative Subdivision Maps are processed, any effects to park dedication shortfalls are to be balanced and mitigated via payment of in-lieu fees or other measures as outlined in Development Agreement.

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PARK IN-LIEU FEES & REGIONAL FACILITIES

Buildout of Placer Ranch increases the service population, and therefore, the need for new recreation facilities. In addition to on-site recreational facilities provided by the PRSP, additional regional recreational facilities are warranted to serve the community's population. A supplemental regional recreation facilities fee, derived through a Nexus Study, would be assessed on the PRSP's development in order to fund its proportionate share of new regional recreation facilities to serve new residential and non-residential development. Obligations for this fee contribution are outlined in the Placer Ranch Development Agreement and could be used by the County towards facilities such as a multi-purpose center, aquatic center, gymnasium, or corporation yard in the west Placer area.

Any park land dedication shortfall is to be satisfied via the payment of park in-lieu fees, construction of additional park facilities, or other measures as determined by the County. Park in-lieu fees may be used to support joint-use recreation facilities. Obligations for addressing any park land dedication shortfalls and contributions to regional recreational facilities are outlined in the Placer Ranch Development Agreement.



TABLE 8-3: PARK AND OPEN SPACE PARCEL SUMMARY

| Parcel | Park Type | Provided |
|-----------------------------|--------------------------------|---------------------|
| Neighborhood Parks | | |
| PR-101 | Neighborhood Park | 9.13 ac |
| PR-102 | Community Park | 20.85 ac |
| PR-103 | Neighborhood Park | 4.00 ac |
| PR-104 | Neighborhood Park | 3.61 ac |
| PR-105 | Neighborhood Park | 7.79 ac |
| PR-106 | Mini-Park | 1.21 ac |
| PR-107 | Mini-Park | 1.21 ac |
| PR-108 | Mini-Park | 1.21 ac |
| PR-109 | Private Park/Recreation Center | 4.00 ac |
| <i>Subtotal</i> | | <i>53.01 acres</i> |
| Open Space Paseos | | |
| PR-111 | Paseo/ Linear Park | 0.57 ac |
| PR-112 | Paseo/ Linear Park | 0.62 ac |
| PR-113 | Paseo/ Linear Park | 1.78 ac |
| PR-114 | Paseo/ Linear Park | 0.59 ac |
| PR-115 | Paseo/ Linear Park | 0.62 ac |
| PR-116 | Paseo/ Linear Park | 5.31 ac |
| PR-117 | Paseo/ Linear Park | 0.77 ac |
| PR-118 | Paseo/ Linear Park | 0.77 ac |
| PR-119 | Paseo/ Linear Park | 9.42 acres |
| <i>Subtotal</i> | | <i>20.45 acres</i> |
| Open Space Preserves | | |
| PR-121 | Open Space Preserve | 16.69 ac |
| PR-122 | Open Space Preserve | 71.27 ac |
| PR-123 | Open Space Preserve | 14.79 ac |
| PR-124 | Open Space Preserve | 22.26 ac |
| PR-125 | Open Space Preserve | 58.31 ac |
| PR-126 | Open Space Preserve | 3.03 ac |
| PR-127 | Open Space Preserve | 6.96 ac |
| PR-128 | Open Space Preserve | 7.04 ac |
| PR-129 | Open Space Preserve | 5.70 ac |
| PR-130 | Open Space Preserve | 3.24 ac |
| PR-131 | Open Space Preserve | 6.89 ac |
| PR-132 | Open Space Preserve | 34.55 ac |
| <i>Subtotal</i> | | <i>250.73 ac</i> |
| Total | | 324.19 acres |

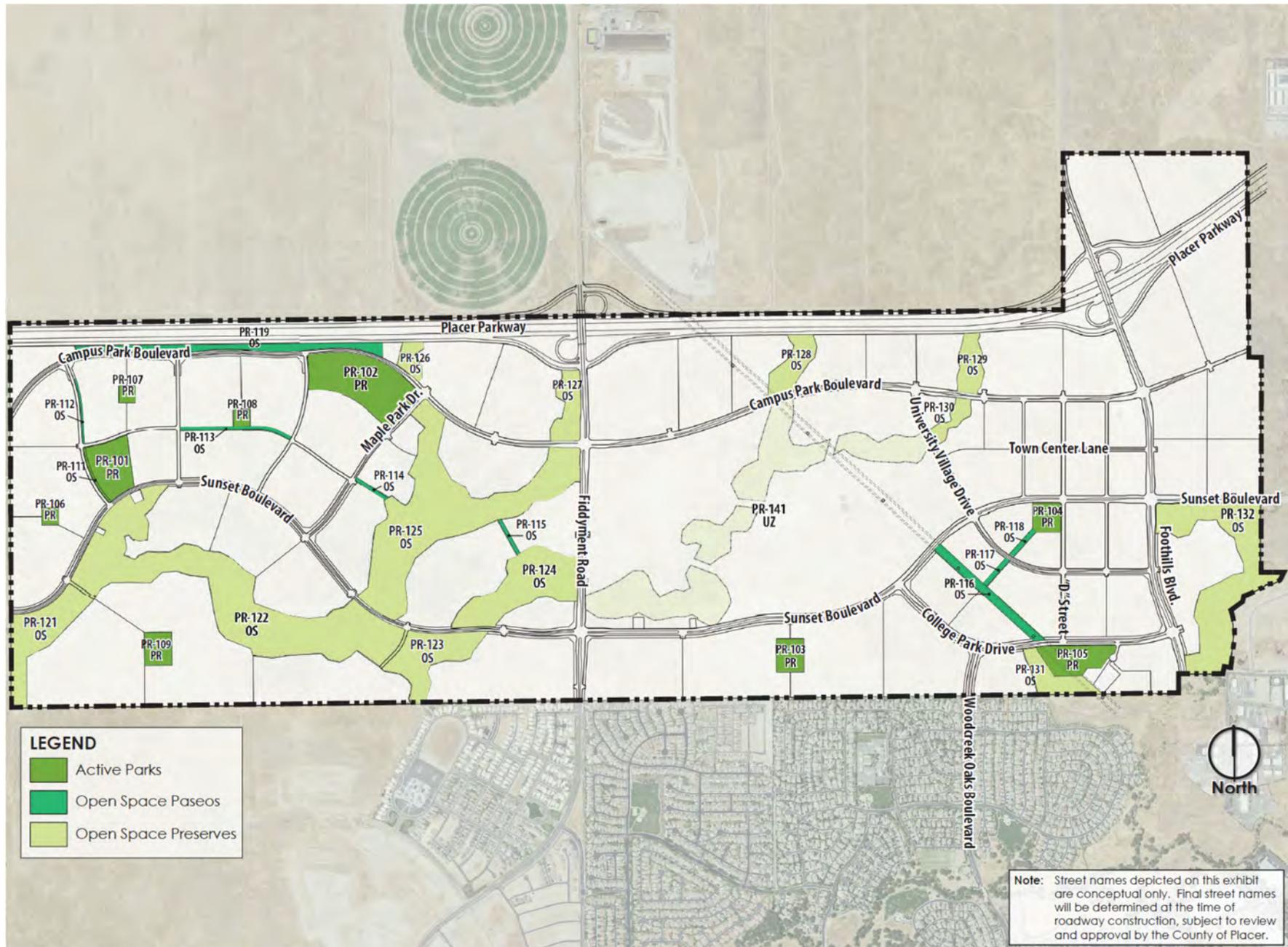


FIGURE 8-1: PARKS AND OPEN SPACE PLAN

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DESIGN INTENT FOR ACTIVE PARKS

Community, Neighborhood, & Mini Parks

Eight parks are planned in Placer Ranch, ranging in size from approximately 1 to 21 acres. This includes one Community Park, four Neighborhood Parks, and three Mini-Parks. The Community Park and the largest Neighborhood Park are sited adjacent to school sites to provide each school/park facility with joint-use opportunities.

Larger community and neighborhood park spaces are programmed with facilities that emphasize active recreation and typically include amenities such as multi-sport ball fields (soccer, lacrosse, rugby, baseball, etc.), hard courts (basketball, tennis, etc.), and other amenities that draw users from multiple residential villages. Mini-Parks are approximately 1.2 acres in size and provide less formal recreation areas in neighborhoods. These parks emphasize passive recreation and typically include features such as small tot-lots, sitting/picnic areas, shade structures, and turf areas for unorganized, active play.

Conceptual designs for Placer Ranch's community and neighborhood parks are included in the Placer Ranch Design Guidelines. Each plan includes an illustrative layout of recreational spaces, including facilities and amenities such as play areas, ball fields, etc. These plans are conceptual, intended only to provide direction for the final design of each park. The size, shape, and location of each park parcel may be refined through subsequent subdivision maps, provided that the facilities and amenities are provided in a manner consistent with the concept plans for park programming.



OPEN SPACE AREAS

The Placer Ranch open space system is a significant feature of the community. A network of open space areas extend throughout the Plan Area, linking neighborhoods, employment centers, the Town Center, and the university site. The open space system is a visually-defining element of Placer Ranch. Open space uses include both paseos and preserves.

Open Space Paseos

The PRSP includes approximately 20.5 acres for paseos. While these features have an Open Space land use designation, they function as a fully-landscaped, active-use recreational amenity. Paseos are designed as linear park-like corridors, which are integrated into the residential villages in order to link active parks, schools, and open space preserves.

Paseos are a key functional element of the multi-use Class I trail system outlined in the Mobility section. Paseos range in width depending on their location and can reach up to 60 feet wide. Amenities typically include sitting spaces, informal play areas, and a multi-use Class I trail. They also provide informal seating and play areas as space allows. Figure 8-1 shows the location of paseos within the Plan Area.



Open Space Preserves

Approximately 250.7 acres is set aside for an open space preserve. In addition, approximately 57.5 acres of open space are located within the university site, but are not included in the open space acreage total. The form of the community's open space preserves responds to the presence of environmentally sensitive habitat and/or natural features. As shown on Figure 2-4, University Creek and one other drainage are located in the PRSP. Stormwater associated with these drainages generally flows to the south and southwest, and ultimately joins with Pleasant Grove Creek.

Open space preserves serve a variety of functions. They are planned for sensitive resource avoidance and land use buffering. As part of the stormwater system, they are used to convey and/or detain flows, plus treat stormwater before it enters nearby creeks. Finally, these areas provide an aesthetic amenity to the Plan Area by creating scenic vistas and providing areas for recreational trails.

Resource Preservation in Preserves

At the time of Specific Plan approval, Placer County was preparing to adopt the Placer County Conservation Program (PCCP) that includes two separate, but complementary, components that support two sets of State and Federal permits:

- **Western Placer County Habitat Conservation Plan and Natural Community Conservation Plan:** These are referred to as the HCP/NCCP or the "Plan." The Plan is a joint HCP and NCCP that protects fish and wildlife, and their habitats. It fulfills the requirements of the Federal Endangered Species Act (ESA), the California Endangered Species Act (CESA), and the California Natural Community and Conservation Planning Act (NCCP Act).
- **Western Placer County Aquatic Resources Program:** This is referred to as the CARP. The CARP protects streams, wetlands, and other water resources and it fulfills the requirements of the Federal Clean Water Act (CWA) and analogous State laws and regulations.

The Wildlife Agencies are the permitting agencies under the Federal ESA, the CESA, and the California NCCP Act. These include:

- * California Department of Fish and Wildlife (CDFW)
- * U.S. Fish and Wildlife Service (USFWS)
- * National Marine Fisheries Service (NMFS), National Oceanic and Atmospheric Administration (NOAA)

The Water Quality Agencies are the permitting agencies under the State Porter-Cologne Water Quality Control Act and the Federal CWA. These include:

- * Central Valley Regional Water Quality Control Board
- * U.S. Army Corps of Engineers (USACE)
- * U.S. Environmental Protection Agency (USEPA)

The PRSP is designed to be consistent with the goals of the PCCP and would be a Covered Activity subject to the requirements of the PCCP upon adoption and issuance of the state and federal permits. The PRSP establishes contiguous open space areas that are formed to protect the most prominent and highest-value natural resource areas.

Long-Term Management of Open Space Preserves

Natural resource management is an important component of the PRSP. Preservation and management of on-site resources allows for the thoughtful integration of development areas with open space preserves. Placer Ranch's most notable natural resources are generally located along several drainage corridors that transect the Plan Area. In light of this, the open space preserves are located in areas surrounding these drainages, where drainage corridors and associated wetland features and grasslands can be protected in their natural condition consistent with the PCCP's avoidance and minimization measures. To accomplish this, Placer Ranch's land use plan incorporates an extensive system of open space preserves to protect select natural resource areas in perpetuity.

To ensure long-term preservation of on-site resources, conservation easements/ deed restrictions are to be placed over the open space preserves and a funding mechanism established for long-term maintenance. In addition, the preserves are subject to a Long Term Management Plan that specifies the activities permitted in open space preserves and addresses where features such as stormwater quality mechanisms, recreational trails, fire/fuel breaks, and similar activities can occur. Additional information regarding natural resources, including mitigation strategies, is provided in the Placer Ranch Specific Plan Environmental Impact Report.

C. Schools

Several school facilities are planned to serve buildout of Placer Ranch. Sites are provided to address the community’s needs for schools at the elementary, middle, and high-school grade levels. Although a major university is a component of the development plan, because this is a higher-education facility that is not required for a new development area and is regulated by the California Education Code, details about it are not included in this section.

SCHOOL REQUIREMENTS

The Placer Ranch Specific Plan area is located within the boundaries of three school districts: Western Placer Unified School District (WPUSD), Roseville City School District (RCSD), and Roseville Joint Union High School District (RJUHSD). The boundaries of each district are shown on Figure 8-2. The WPUSD serves kindergarten through 12th grade students and only a small land area of the PRSP is located within in its boundaries. Because the land uses in this area are designated for non-residential uses, future development will not generate students within the WPUSD.

The remainder of the Plan Area, which contains all of the student-generating residential land uses, is located in the RCSD and RJUHSD. The RCSD serves grades K-9 and the RJUHSD serves grades 9-12.. The number of students generated at full buildout and each district’s student generation rates are summarized in Table 8-4.

SCHOOL FACILITIES PROVIDED

Placer Ranch includes sites for one elementary school and one middle school. The elementary school site is approximately 10.7 acres and the middle school site is approximately 21.3 acres, and both are centrally located in a grouping of residential villages west of Fiddymont Road. Each school site is co-located with a public park. The size and location of these sites have been planned in coordination with the RCSD and are shown on Figure 8-2.

As noted in Table 8-4, the PRSP generates the need for more than one elementary school. Most of Placer Ranch’s grade K-5 students can be accommodated at the elementary school in the Plan Area, however some are planned to attend nearby schools elsewhere in the District that have reserve capacity. For grades 6-8, Placer Ranch’s middle school can accommodate all students generated in the Plan Area, plus retain additional capacity to serve other neighborhoods in the district. Students in grades 9-12 will attend high school at RJUHSD facilities located outside of the Plan Area.

The school sites identified on the land use plan are reserved for the RCSD, the district responsible for planning each school’s facilities and determining construction timing. The PRSP is required to fully mitigate school impacts.

TABLE 8-4: STUDENT GENERATION ESTIMATES

| | LDR/ MDR Factor ¹ | HDR/ CMU Factor ¹ | Students Generated | School Capacity | Schools Required |
|--|---------------------------------|---------------------------------|-----------------------|--------------------|---------------------|
| Roseville City School District ² | | | | | |
| Elementary School – Grades K-5 | 0.3329 | 0.1118 | 1,255 | 800 | 1.57 |
| Middle School – Grades 6-8 | 0.1164 | 0.0352 | 431 | 1,000 | 0.43 |
| Roseville Joint Union High School District ² | | | | | |
| High School – Grades 9-12 | 0.161 | 0.036 | 571 | 1,800 | 0.32 |

1. Student generation rates provided by Roseville City School District and Roseville Joint Union High School District.

2. Estimates assume 3,096 LDR/MDR units and 2,011 HDR/CMU units for basis of calculations. Age-restricted units not included in total.

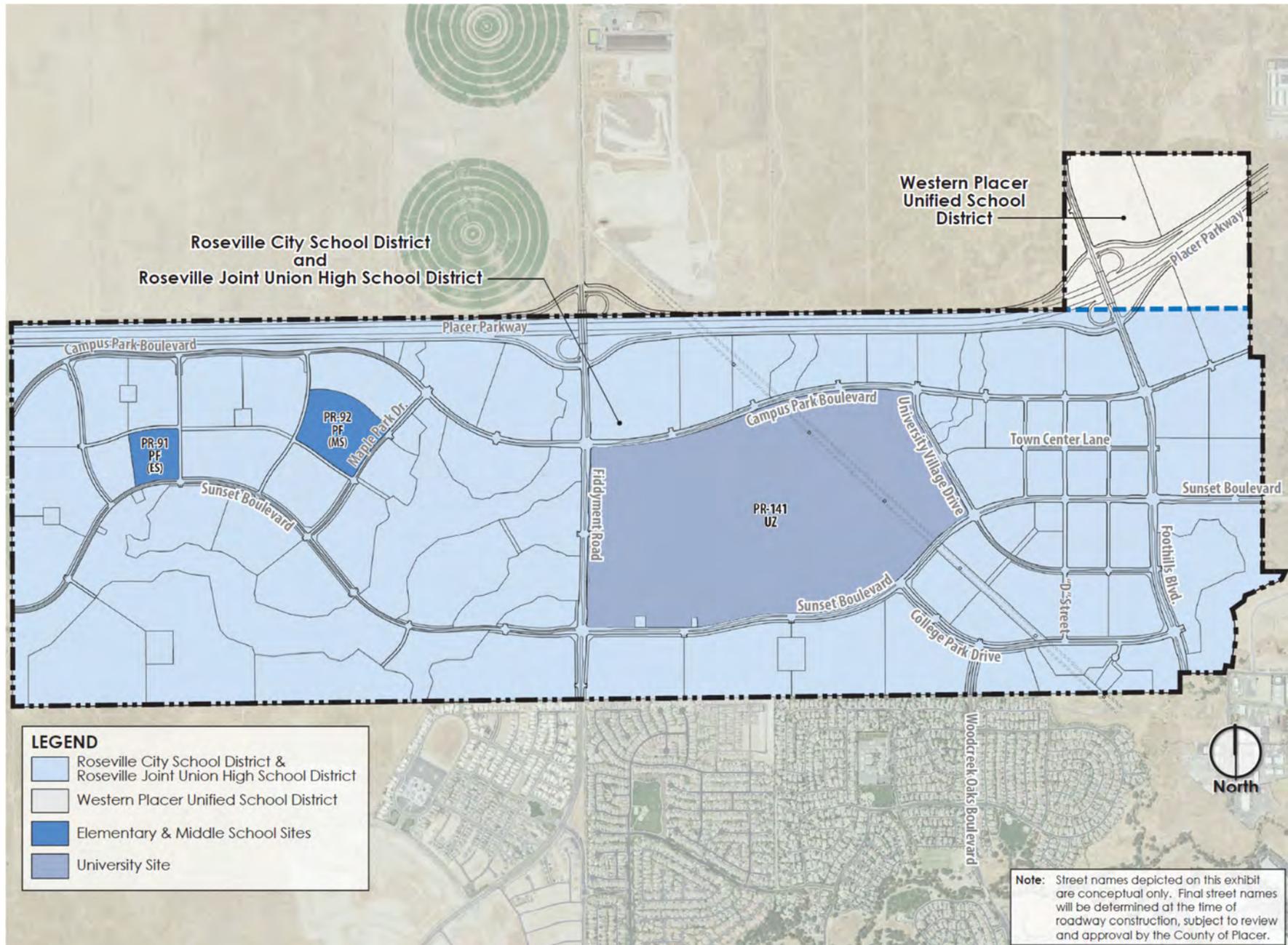


FIGURE 8-2: SCHOOL DISTRICT BOUNDARIES & SITE LOCATIONS

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D. Library Services

Library services are provided by Placer County, which operates several public libraries throughout the County. In proximity to Placer Ranch, the County operates libraries in Rocklin and Granite Bay. Within the Placer Vineyards Specific Plan, a regional library is planned that would serve South Placer. It is anticipated that library services would be provided for Placer Ranch by that facility. The County may also work with the university on a cooperative facility that may be jointly used by university students and Placer County residents.

E. Law Enforcement

Law enforcement for Placer Ranch is provided by both the Placer County Sheriff's Department and the California Highway Patrol (CHP). General law enforcement services are provided by the Sheriff's Department, which also provides jail services, coroner's services, court security, and marshal duties. Although based at the Auburn Justice Center in Auburn, local law enforcement services are to be provided through the South Placer Substation located in Loomis. Traffic-related enforcement services are to be provided by the CHP. The university will provide its own law enforcement services.

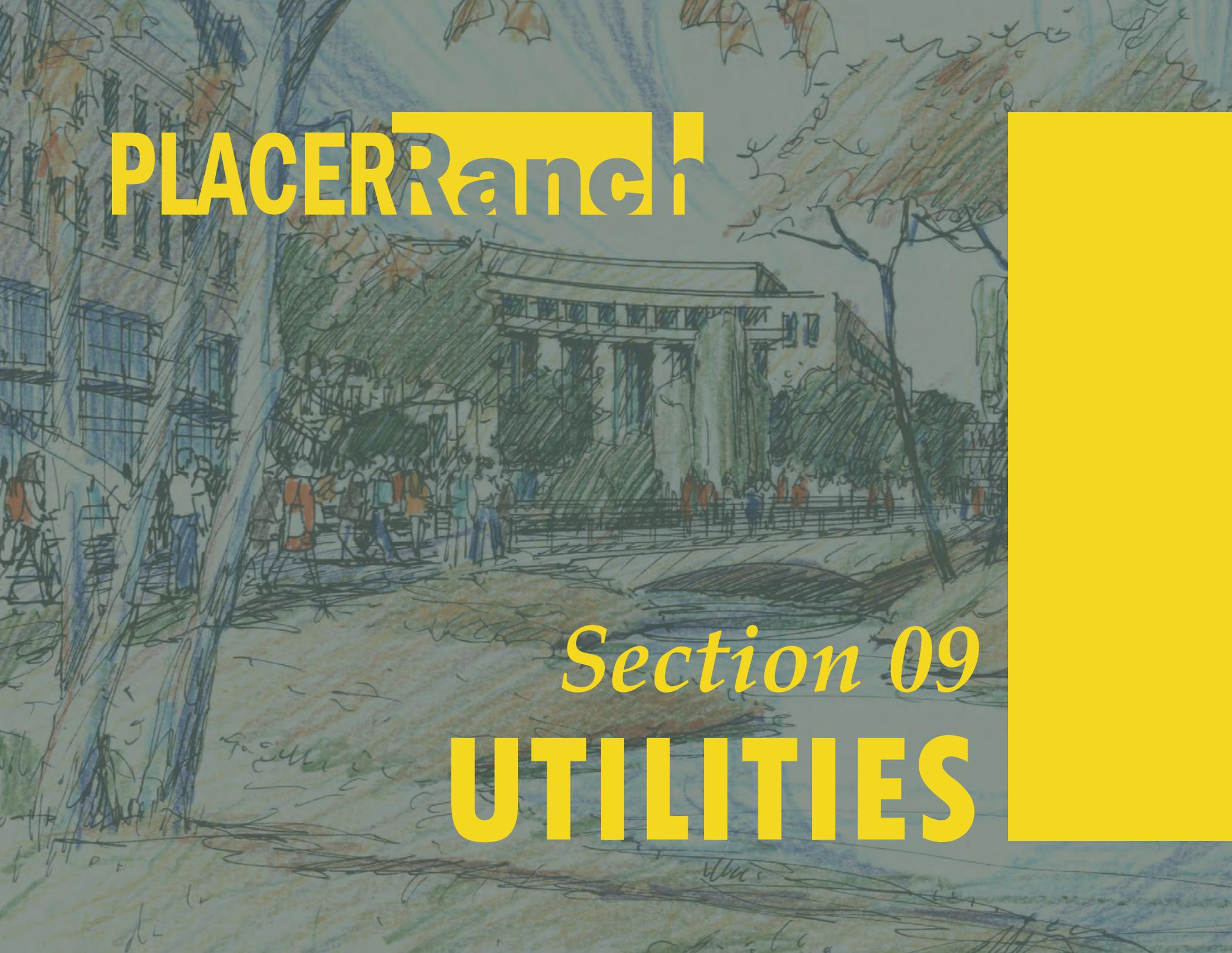
Through the County's permitting process, subsequent development projects in the PRSP are required to comply with the Sheriff Department's recommendations regarding safety and security.

F. Fire and Emergency Services

Fire service is provided by Placer County Fire (PCF) through a contract with the California Department of Forestry and Fire Protection (CAL FIRE). At the time of Specific Plan approval, the nearest fire station to the PRSP was Placer County's Station #77, located adjacent to the Thunder Valley Casino Resort on Athens Avenue, approximately 1 mile north of the Plan Area. If it is determined that an on-site fire station is needed to serve the PRSP, one can be accommodated on any parcel with a General Commercial, Commercial Mixed Use, or Campus Park land use designation, as provided for in Section 4 of the Placer Ranch Development Standards.

Placer Ranch is located entirely within the future annexation area of Placer County's Community Facilities District (CFD) #2012-1, which was established in 2012 to fund the ongoing fire and emergency service operations in the Sunset Area from Station #77. Placer Ranch will annex into this CFD for its fire and emergency services or create its own fire and emergency services CFD to fund the operations and maintenance of a new station. The university will either pay a special tax or assessment for fire protection services, or will contract for and provide its own fire protection services. Obligations for fire and emergency services are more specifically outlined in the Placer Ranch Development Agreement.



An architectural sketch of a street scene. On the left is a multi-story building with many windows. In the center is a large, modern building with a flat roof and a central entrance. On the right is another building. The street is filled with people walking. There are trees with green and brown leaves. The sky is blue with some clouds. The overall style is a loose, expressive sketch.

PLACER Ranch

Section 09

UTILITIES

COUNTY
OF

Placer



Placer Ranch

09 utilities

- A.** Utility Systems Overview
- B.** Potable Water
- C.** Recycled Water
- D.** Wastewater
- E.** Water Conservation Measures
- F.** Drainage & Flood Control
- G.** Energy
- H.** Voice & Data Communications
- I.** Solid Waste

A. Utility Systems Overview

Placer Ranch’s development plan includes provisions for the construction of all backbone utility systems needed to support buildout of the Plan Area. This section outlines the approach for constructing potable water, recycled water, wastewater, stormwater drainage, and energy utility systems throughout the Plan Area. In addition, provisions for water conservation, stormwater management, solid waste, and voice/data communications are addressed in this section.

Infrastructure construction is planned to be phased as needed to support development, with specific timing and funding obligations detailed in the Placer Ranch Development Agreement. Utility infrastructure is to be constructed, dedicated, and easements provided consistent with this Specific Plan, the Placer Ranch Development Agreement, and applicable requirements of Placer County and relevant utility providers.

The utility providers for Placer Ranch are identified below:

| Utility | Provider |
|-----------------------------------|---|
| Potable Water | Placer County Water Agency |
| Recycled Water | Placer County Placer County Water Agency |
| Wastewater | Placer County South Placer Wastewater Authority |
| Drainage and Flood Control | Placer County Flood Control District Placer County City of Roseville (stormwater retention) |
| Communications | AT&T Comcast Consolidated Communications Wave Broadband |
| Solid Waste | Recology Auburn Placer West Placer Waste Management Authority |
| Electric Service | Pacific Gas & Electric |
| Natural Gas | Pacific Gas & Electric |

B. Potable Water

Potable water service to the PRSP is provided by the Placer County Water Agency (PCWA), which administers the supply, treatment, and conveyance of water throughout areas of Placer County. Potable water will be delivered to the Plan Area from several planned connection points on Placer Parkway, Sunset Boulevard, and Nichols Road.

WATER SUPPLY & DEMAND

The water demand for the PRSP is approximately 4,355 acre feet per year (AFY). This demand is satisfied with a combination of both potable and non-potable (recycled) water sources. The recycled water component is planned as the irrigation source for all project landscaping except for single family residential parcels. PCWA is the water supplier for the PRSP. To supplement the surface water supply, the PRSP relies on groundwater supplies during emergency situations. Two groundwater wells are planned in the PRSP, each of which is capable of providing up to 2.6 million gallons per day (mgd) of water each.

WATER TRANSMISSION SYSTEM

The PRSP’s water distribution system consists of looping pipelines located in collector and arterial roadway corridors that form a transmission main grid consisting of 12-inch to 42-inch diameter mains. The system includes a 5.16 MG potable water storage tank that is planned for construction on parcel PR-100, located west of Fiddymont Road adjacent to Placer Parkway. The key components of the potable water infrastructure system are shown on Figure 9-1.

The backbone system will intertie with PCWA’s transmission and distribution system along the eastern edge of the Plan Area at Placer Parkway, Sunset Boulevard, and Nichols Road. The primary transmission backbone is a 42-inch transmission main that will be extended from the Placer Parkway tie-in to the western edge of the Plan Area, via the Placer Parkway and Campus Park Boulevard roadway corridors, including a linkage to the planned water storage tank. This transmission pipeline has been sized to deliver water to the PRSP and portions of the Sunset Area.

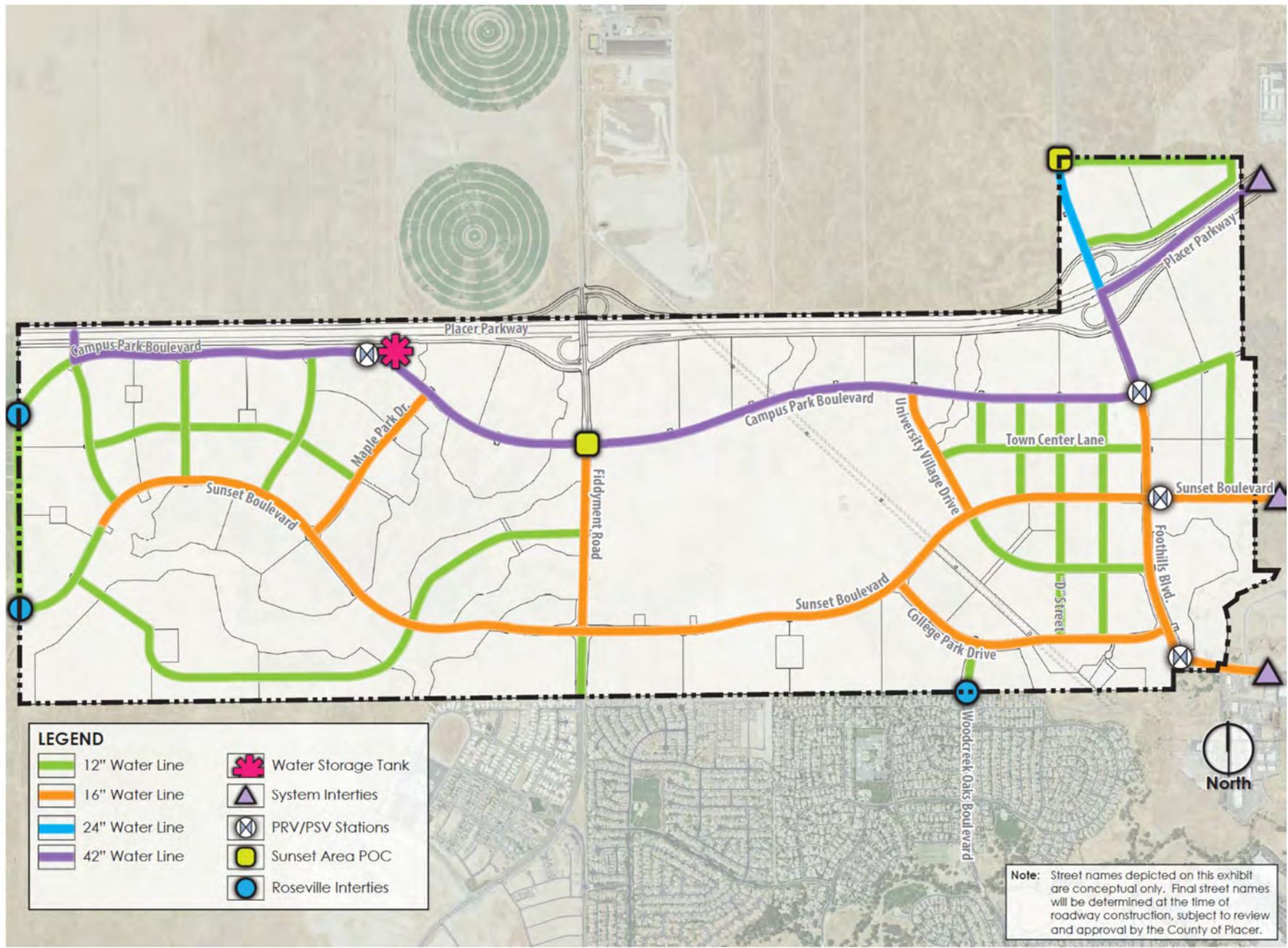


FIGURE 9-1: POTABLE WATER INFRASTRUCTURE

The PRSP distribution system will tie into and extend PCWA's existing 350 pressure zone to Foothills Boulevard. Three pressure-reducing valve (PRV) stations are planned on Foothills Boulevard; one each at Campus Park Boulevard, Sunset Boulevard, and Nichols Road. These will reduce system pressure to align with that in the adjacent City of Roseville in order to create a new lower pressure zone tentatively called the 280 pressure zone. A pump station will also allow PCWA to pump from the 280 pressure zone back into the 350 pressure zone around the PRV station located on Foothills Boulevard at Campus Park Boulevard.

Groundwater wells are planned to provide PCWA and the County with a backup water supply during emergency conditions. All water improvements are to be constructed to PWCA and/or Placer County's standards using a phased approach.

Detailed information about the PRSP's water facilities is contained in the Placer Ranch Potable Water Master Plan.

C. Recycled Water

Recycled water is a key component of Placer Ranch's overall water supply strategy. Using recycled water for irrigation throughout the Plan Area offsets the demand for potable water and makes use of a readily-available resource. Recycled water is provided to the PRSP via existing infrastructure from the City of Roseville's Dry Creek Wastewater Treatment Plant (DCWWTP). This non-potable water source is provided for landscape irrigation on all parcels except low and medium density single family residential parcels.

The estimated annual recycled water demand in the PRSP is 816 acre-feet per year (AFY), with a peak day demand of 1.78 million gallons per day (mgd) without water conservation. With implementation of the water conservation measures outlined in this section, the annual demand is reduced to 373 AFY and peak day demand is reduced to 0.81 mgd.

Recycled water is planned to serve the PRSP via the extension of the existing 24-inch transmission main located in Woodcreek Oaks Boulevard (south of the site). This main will be extended northward into the Plan Area along Woodcreek Oaks Boulevard, and continue east along College Park Drive and terminate at a planned recycled water storage and pumping facility. This facility consists of a recycled water storage tank and

associated booster pump station (ultimate size and capacity is dependent on whether upsizing is employed), which is planned for construction on Parcel PR-97 along the southern edge of the Plan Area. The mainline in College Park Drive will function as a direct fill line to the tank. A groundwater well is also planned to be co-located with the tank and pump station as a back-up water supply.

The planned backbone recycled water distribution system is illustrated on Figure 9-2. This system is planned to supply all recycled water demands within the PRSP.

The PRSP's planned recycled water distribution system is a looped network on the east side of the Plan Area, which includes upsizing of the recycled water infrastructure to serve future demands in the Sunset Area to the north and east of the PRSP. Pipelines range in size from 6 to 30 inches and are primarily located in planned roadways. The west side of the Plan Area incorporates a single branched pipeline located in planned roadways with pipes extending to parcels planned to receive recycled water service. Pipelines on the west side range in size from 6 to 12 inches.

The City of Roseville is planned as the recycled water wholesaler to PCWA, which serves as the recycled water retailer for the PRSP. All recycled water improvements are to be constructed to PCWA and Placer County standards using a phased approach. (Infrastructure improvements in the City of Roseville are to be constructed to Roseville's standards.) Detailed information about the PRSP's recycled water facilities and supplies, including technical analysis, is contained in the Placer Ranch Recycled Water Master Plan.

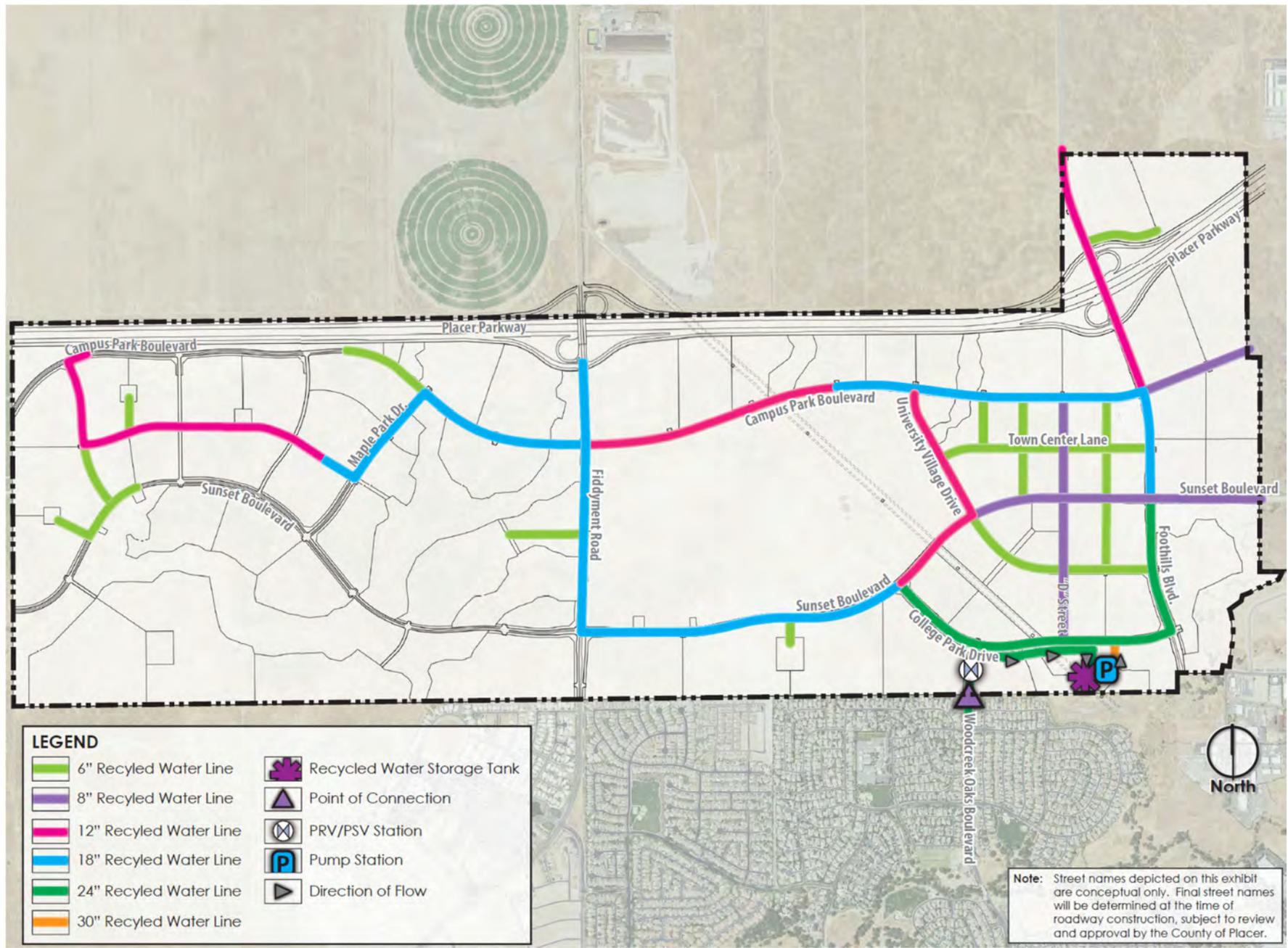


FIGURE 9-2: RECYCLED WATER INFRASTRUCTURE

D. Wastewater

Placer Ranch's sanitary sewer service is provided by both Placer County and the South Placer Wastewater Authority (SPWA). Placer County is responsible for the collection and conveyance of wastewater in the Plan Area. The SPWA is responsible for treating the PRSP's wastewater at the Pleasant Grove Wastewater Treatment Plant (PGWWTP), which is operated by the City of Roseville. The PGWWTP is located approximately two miles southwest of Placer Ranch. At buildout, the PRSP is estimated to generate an average dry weather flow of approximately 2.05 million gallons per day (mgd).

The backbone wastewater collection system is shown on Figure 9-3 and consists of a network of pipes ranging in size from 6-inches to 27-inches in diameter. Wastewater generated by the PRSP will be directed into existing infrastructure located in Fiddymment Road where it will flow to the PGWWTP for treatment.

A Sanitary Sewer Master Plan has been prepared for the project, which evaluated two scenarios for the design backbone wastewater infrastructure: Scenario 1 and Scenario 2. In Scenario 1, the Plan Area has been divided into three sewer sheds; a western shed, a central shed, and an eastern shed. In Scenario 2, the central and eastern sheds were merged into one. However, because Scenario 1 provides greater flexibility for future project development phasing, it was used for the purposes of the wastewater section of this Specific Plan. For additional information and project design details, refer to the Placer Ranch Sanitary Sewer Master Plan on file with the County.

Of the Plan Area's three sheds, flows from the western shed will be conveyed by gravity to a lift station (on Parcel PR-94) along Sunset Boulevard, near the western edge of the Plan Area. From this lift station, flows will be pumped via a force main in Sunset Boulevard to a receiving manhole adjacent to parcel PR-16, at which point they will gravity flow to larger trunk lines in Fiddymment Road. In the central shed, flows will be conveyed by gravity in a westerly and southwesterly direction to Fiddymment Road.

All flows in the western and central sheds will gravity flow to the intersection of Fiddymment Road and Sunset Boulevard, and from this point will be conveyed via a 27-inch line in Fiddymment Road southward to the southern edge of the Plan Area. From this point, flows will continue to be conveyed by gravity to a sewer connection stub located in Angus Road

approximately 4,200-feet south of the Plan Area. From this connection point, flows will be conveyed to the existing Pleasant Grove 72-inch Regional Sewer Transmission pipeline located along the Pleasant Grove creek corridor.

Eastern shed flows will convey flows via gravity in a southerly direction to Foothills Boulevard, where connections will be made to existing sewer infrastructure located at the intersection of Nichols Drive and Duluth Avenue. These flows will utilize existing sewer pipelines that service the Roseville Power Plant 2 (on Parcel PR-98). These eastern flows will be conveyed to an existing, off-site 42-inch pipeline near the southern terminus of Cincinnati Avenue, where flows will be conveyed to the existing Pleasant Grove Regional Transmission line located along the Pleasant Grove creek corridor, south of the Plan Area.

All flows from the PRSP will be conveyed to the PGWWTP via the existing Pleasant Grove Regional Transmission pipeline. Sewer flows from offsite adjacent properties and the Sunset Area Plan have been accommodated for conveyance through the PRSP. Future stub-out connection points have been provided with the PRSP for development of adjacent off-site parcels in the future.

All sewer improvements will be consistent with the South Placer Regional Wastewater and Recycled Water Systems Evaluation and will be constructed to Placer County's standards using a phased approach. Detailed information about the PRSP's sanitary sewer system is contained in the Placer Ranch Sanitary Sewer Master Plan.

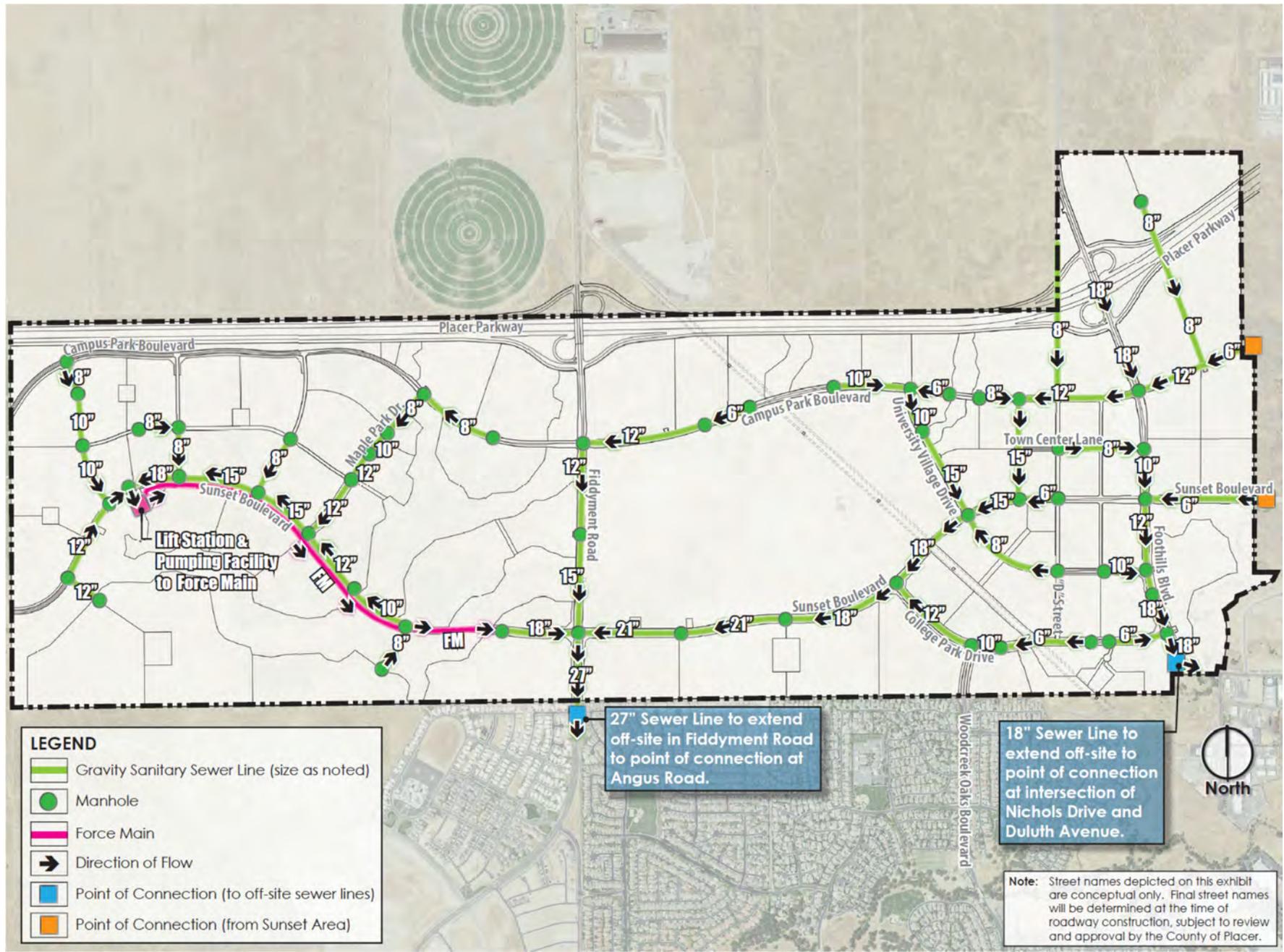


FIGURE 9-3: WASTEWATER INFRASTRUCTURE

E. Water Conservation Measures

Water savings measures have been incorporated into Placer Ranch in order to reduce the Plan Area's total demand for both potable and/or recycled water. As a means to achieve the project's water conservation goals, the following measures are included:

- **Residential Turf Reductions** – In residential areas, this involves limiting the amount of turf in the front yards and using a greater percentage of low-water use plant species in lieu of turf. Typically, about 70% of a total residential front yard is assumed to consist of landscaping, with the remainder consisting of driveways, planters, or walkways. For the PRSP, limitations are to be placed on the landscaped portion of each front yard, allowing up to 42% of the total area to be turf, with the remaining landscaped area comprised of low water use plant species that use between 65-75% less water than an average lawn.
- **Turf Reductions in Non-Residential Parcels** – This involves limiting the use of turf on non-residential parcels. Where turf is incorporated into landscape design, it should be located in high-visibility areas and augmented by low-water-use plant species. To achieve the desired water conservation, the following criteria are to be implemented:
 - * **Parks** – It is assumed that approximately 80% of a typical park's square footage consists of landscaping. Within the PRSP, the total cumulative land area of all parks is to incorporate a maximum of 60% turf, leaving approximately 20% for low water use plant species and 20% for hardscape and other non-landscaped features. Utilizing less than 60% turf is acceptable provided the park can adequately provide all planned amenities, as depicted on the conceptual park plans provided in the Placer Ranch Design Guidelines.
 - * **Schools** – It is assumed that approximately 70% of a school site's square footage consist of turf. Within the PRSP, site design is to incorporate a maximum of 40% of site area for turf, leaving 30% for low water use plant species and 30% for buildings and other hardscape/non-landscaped features.
 - * **Roadways** – It is assumed that approximately 15% of roadway corridors are comprised of landscaping. Within the PRSP, roadway corridor design is to incorporate a maximum of 5% of area for turf, leaving 10% for low water use plant species and 85% for roadway surface, sidewalks, and other non-landscaped features. It is assumed that Placer Parkway's landscape corridors will not be irrigated.

- **Smart/Centrally Controlled Irrigation Controllers** – Smart and centrally controlled irrigation controllers restrict irrigation to only the times and water application rates that are necessary to maintain landscaping. They account for changes in the demand for water, which varies with weather patterns and seasonal influences. For the PRSP, smart irrigation controllers are required for public and private landscaped parcels.
- **Recirculating Hot Water Systems** – A re-circulating hot water system consists of a pump installed on a residential hot water line system, reducing the time necessary to receive hot water at any hot water faucet. This type of system is required on all residential units in the Plan Area.
- **Model Water Efficient Landscape Ordinance (MWELO)** – This ordinance, adopted by the California Water Commission, applies to all projects adding 500 square feet or more of new landscaped area and/or modifying 2,500 square feet or more of existing landscaped area. The ordinance limits the 'Maximum Applied Water Allowance' for each property by setting the evapotranspiration (ET) adjustment factor to 0.55 for residential areas and 0.45 for commercial areas. The PRSP is subject to the requirements of the MWELO.

With full implementation of the water conservation measures outlined above, it is estimated that the PRSP's overall water demand will be reduced by approximately 19.5% (or approximately 850 acre-feet) per year.

F. Drainage & Flood Control

PRE-DEVELOPMENT CONDITIONS

The PRSP primarily lies within the Pleasant Grove watershed, with a small portion within in the Orchard Creek watershed. Both of these watersheds are part of the larger Natomas Cross Canal watershed of northwestern Placer County and southeastern Sutter County.

The majority of the Plan Area, via various tributaries and overland routes, contributes to University Creek southwest of the site, which drains through the site from the east to the southwest. University Creek is a tributary to Pleasant Grove Creek which drains to the Pleasant Grove Canal then on to the Natomas Cross Canal before entering the Sacramento River. Orchard Creek is a tributary to Auburn Ravine which drains to the East Side Canal then to Natomas Cross Canal before also entering the Sacramento River.

The southeast portion of the Plan Area drains to the Pleasant Grove Creek North Branch, which general flows from the north to the south alongside the eastern property line before discharging into the north main branch of Pleasant Grove Creek. The northeast quadrant of the site, located in the Orchard Creek watershed, generally drains to the north before joining the main branch of Orchard Creek and ultimately discharging to Auburn Ravine Creek. Information regarding the pre-development 100-year floodplain is contained in the Placer Ranch Storm Drainage Master Plan (SDMP).

DRAINAGE AND FLOOD CONTROL IMPROVEMENTS

The PRSP's planned drainage improvements consist of a combination of conventional subsurface and surface drainage systems including construction of pipe conveyance systems, and construction of culverts at roadway and trail crossings of drainages. Stormwater is to be discharged through outfalls into open space corridors. Various stormwater quality measures are to be incorporated into the system design in order to minimize impacts to open space resources. Information regarding stormwater quality is described later in this section, which outlines the approach for implementing stormwater quality measures.

Flows for the 2-year 24-hour, 10-year 24-hour, 100-year 24-hour events are planned to be attenuated within the University Creek corridor using peak flow detention basins and the over bank flow areas. These areas

coincide with planned culvert crossings of the creek where crossings can be utilized to detain flows as needed for flood control. Although the 200-year 24-hour event will not be attenuated, these crossings have also been sized to allow this event to be conveyed without overtopping the roadways or flood the adjacent developable areas within the Plan Area. Areas that drain to Orchard Creek and the Pleasant Grove North Branch are planned to incorporate detention basins that attenuate flows larger than a 2-year event.

On-site drainage improvements are designed to the 10-year, 24-hour hydraulic grade line requirements as well as the allowable street inundation for a 100-year, 24-hour event, consistent with the standards in the Placer County Flood Control and Water Conservation District Stormwater Management Manual. During these storm events, arterial streets are designed such that all travel lanes remain clear, and collector streets are designed such that the center 12-feet of the road remains free of storm water. In both cases, the overland flows remain within the County's rights-of-ways.

Due to potential flooding in the lower portion of Natomas Cross Canal watershed, retention in excess of the existing runoff volume is required for the 100-year, 8-day event for all upstream development. To mitigate the volumetric impacts during these events, stormwater retention may occur at an on-site location or at an off-site location such as the City of Roseville Pleasant Grove/Curry Creek Regional Retention Basin (formerly known as Reason Farms), which is located west of the PRSP along the Pleasant Grove Creek corridor. Information regarding the post-development 100-year floodplain is contained in the SDMP.

As the Plan Area lies in the most upstream area of both Pleasant Grove Creek and Orchard Creek watersheds, Senate Bill 5, the Urban Level of Flood Protection (ULOP) does not apply. ULOP requires that several location criteria all be met in order to require the ULOP regulations. The Plan Area, including off-site upstream contributing area, has less than the required watershed of 10 square miles (6,400 acres) contributing to University Creek, tributaries of Orchard Creek, and Pleasant Grove Creek. Since the Plan Area does not meet the criteria of ULOP, the 100-year inundation standards will continue to apply.

The PRSP's planned stormwater drainage system is illustrated on Figure 9-4, which also shows the planned number and location of drainage outfalls. The backbone stormwater plans are conceptual and are based on the best information available at the time of Specific Plan approval. The location

of stormwater facilities is subject to refinement during the subdivision map and improvement plan approvals, as well as State/Federal permitting requirements.

Additional information regarding the PRSP's stormwater drainage system is contained in the Placer Ranch Storm Drainage Master Plan.

STORMWATER QUALITY

Stormwater management is a required element of any new development project in Placer County. As development occurs, stormwater management measures are to be implemented in a manner that cumulatively fulfill the requirements of the County's National Pollutant Discharge Elimination System (NPDES) Phase II Permit, as issued by the State Water Resources Control Board. This is intended to minimize the effects of urban stormwater runoff on the natural open space areas, including wetland areas and principal drainage corridors.

Implementation includes two components: Stormwater management during construction and post-construction stormwater management.

Active Construction Stormwater Management

For active construction projects, a Storm Water Pollution Prevention Plan (SWPPP) is required to manage the release of on-site stormwater runoff. It addresses how stormwater from a construction site is managed and treated prior to being discharged from the site. The use of Best Management Practices (BMPs) during the construction process generally incorporates erosion and sediment controls. These BMPs typically include measures such as applying straw mulch to disturbed areas, the use of fiber rolls and silt fences, sedimentation basins, drain inlet protection, stabilized construction accesses, and material management. For construction activity in the PRSP, the SWPPP is administered by Placer County.



Post Construction Stormwater Management

To manage stormwater quality and reduce post-development stormwater flows, development in the PRSP is to utilize various Low Impact Development (LID) strategies. These strategies remove pollutants from runoff, attenuate peak flows, and reduce runoff volume. The PRSP's LID measures include options for impervious area disconnection, tree planting, vegetated swales, and if needed, soil amendments.

All LID measures are designed to the specifications outlined in the West Placer Storm Water Quality Design Manual (WPSWQDM). Although the WPSWQDM does not include BMPs that are implemented during active construction projects, it provides a comprehensive, long-term approach for managing stormwater generated by new development projects by identifying various planning tools and requirements that collectively reduce peak flows and pollution from urban runoff.



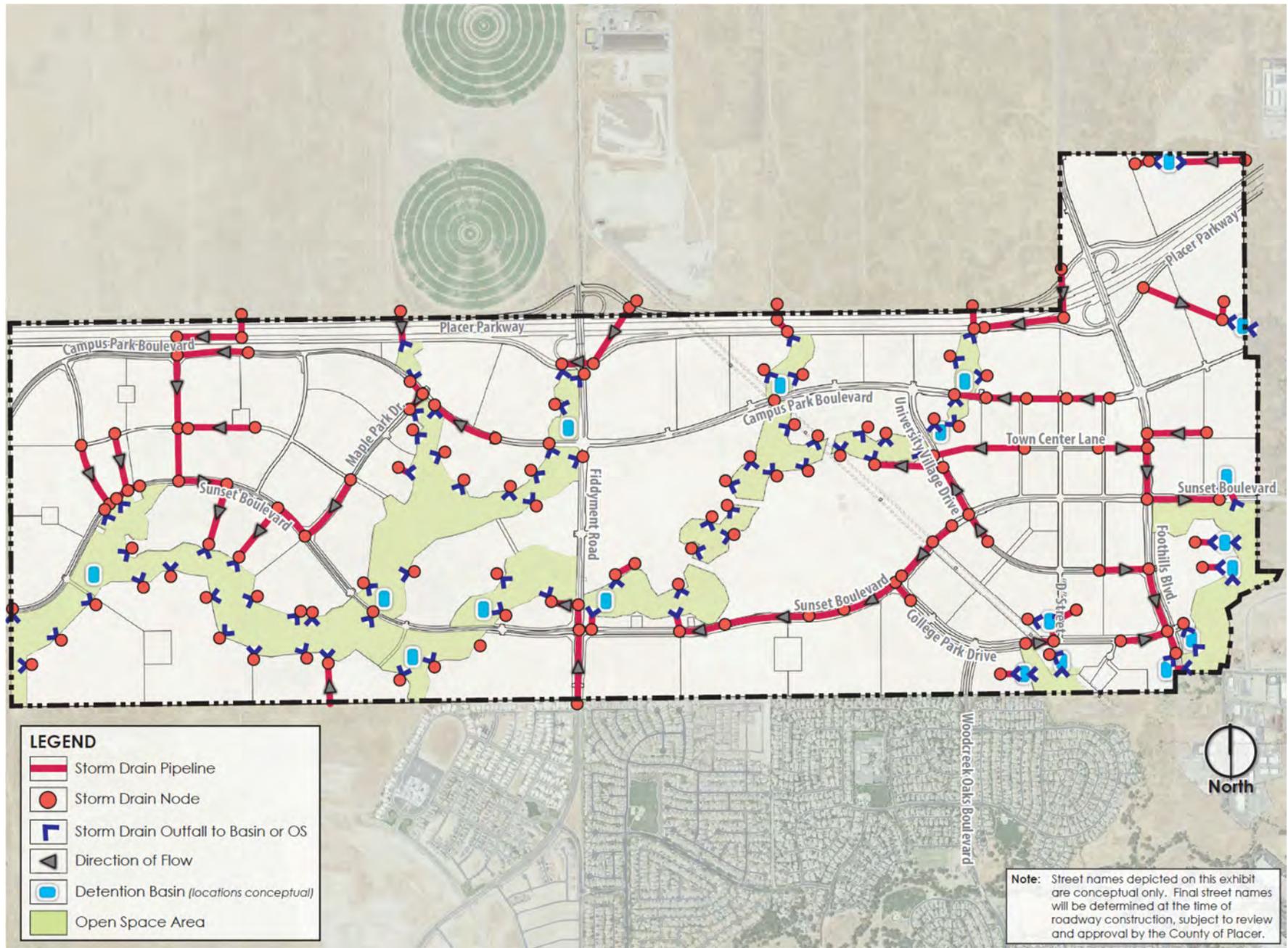


FIGURE 9-4: STORMWATER DRAINAGE INFRASTRUCTURE

The WPSWQDM includes three components for stormwater management:

- **Source Control Measures** – These are intended to keep pollutants from mixing with stormwater runoff and making their way to a storm drain system or natural drainage area. Examples include installing an efficient irrigation system to prevent overspray and runoff, covering trash enclosures, installing storm drain inlet markings/signage, and incorporating unique site design features (covers, paving, etc.) for outdoor loading areas, work areas, and waste management areas.
- **Site Design Measures** – These are intended to treat and reduce the amount of urban runoff being conveyed off of a developed site by incorporating design measures that increase a site’s perviousness. The goal is to allow stormwater to be infiltrated, filtered, stored, or detained on site to the best extent possible. Examples include the use of rooftop and impervious area disconnection, tree planting and preservation, vegetated swales, soil quality improvement and maintenance, and similar measures that can be integrated into a project’s landscaping.
- **Treatment and Baseline Hydromodification Management** – These are intended to manage the remaining portion of the runoff after implementation of site design measures. These are typically engineered technologies, which can be constructed at a small scale to serve individual development projects or at a large scale to serve multiple projects. Examples include bioretention facilities, media filters, and tree box filters.

The PRSP Storm Drainage Master Plan is designed to comply with Placer County’s regulations for stormwater management, which includes compliance with the West Placer Storm Water Quality Design Manual. As development occurs, stormwater management measures are to be implemented in a manner that cumulatively fulfills the requirements of the County’s NPDES Phase II Permit, as issued by the State Water Resources Control Board. This is intended to minimize the effects of urban stormwater runoff on the natural open space areas, including wetland areas and principal drainage corridors. Additional information regarding the PRSP’s stormwater quality is contained in the Placer Ranch Storm Drainage Master Plan.

G. Energy

ELECTRIC SERVICE

Electricity service for Placer Ranch is provided by Pacific Gas and Electric (PG&E). The PRSP’s peak electric demand at full buildout of the Plan Area is estimated to be 76 megavolt amperes (MVA). Planned electric facilities consist of 600 amp main-line backbone feeder circuits extending throughout the major roads, and smaller local circuits extending from them and running through the neighborhoods. The feeder mains and local circuits are to be extended to individual parcels in conjunction with roadway improvements.

Though the PRSP will initially be served by substations located offsite, PG&E anticipates that a new 135 MVA substation will be needed in the Plan Area prior to wfull buildout of the community. At such time that it is determined that a substation is needed, a site has been reserved for PG&E near the 230 kV transmission line along the southern edge of the Plan Area.

While not a component of the PRSP’s backbone electric infrastructure, Roseville Power Plant 2 (RPP2) is located on a 1.79-acre site in the southeastern corner of the Plan Area. RPP2 is an electric peaking facility that is owned and operated by the City of Roseville, which is tied to Roseville Electric’s backbone system. As noted on the land use plan, similar public utilities are located adjacent to RPP2, including sites for a substation and recycled water tank. These sites will ultimately be enclosed with walls to provide security and a visual buffer, as noted in PRDS Section 9.

Street lighting in the Plan Area, constructed to Placer County’s standards, is to be provided along all public streets as part of the roadway frontage improvements. The location of backbone electric infrastructure facilities, including a site for PG&E’s substation, is shown on Figure 9-5.

NATURAL GAS

PG&E is the service provider of natural gas in the Plan Area. At full buildout, the PRSP’s peak demand for natural gas is estimated to be 765 thousand cubic feet per hour (MCFH). Service will be provided from existing infrastructure adjacent to the Plan Area, and PG&E’s existing facilities can accommodate the increased demand generated by the PRSP. Gas distribution mains will be extended through the Plan Area in conjunction with roadway improvements, with mains or services extended to individual parcels as each develops.

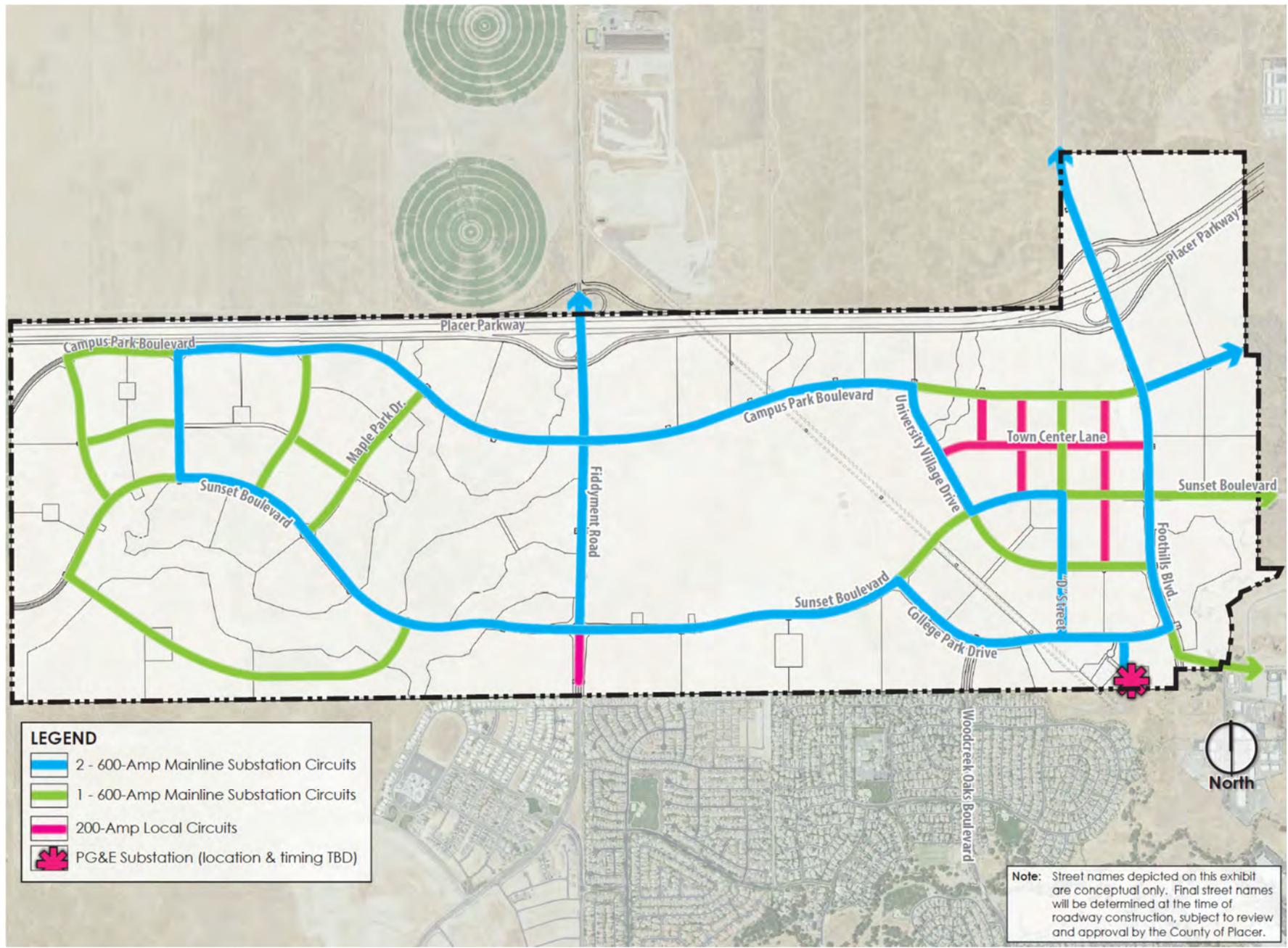


FIGURE 9-5: ELECTRIC INFRASTRUCTURE

H. Voice & Data Communications

The PRSP is within the service areas of AT&T and Wave Broadband for voice and data communication services. In addition, Comcast and Consolidated Communications have facilities immediately adjacent to the PRSP and have plans to serve the Plan Area. Together, these providers offer voice, video, and data communication services. This includes land-line telephone service, voice over internet protocol (VOIP) telephone service, mobile telephone service, cable television service, and high-speed data line (internet) service.

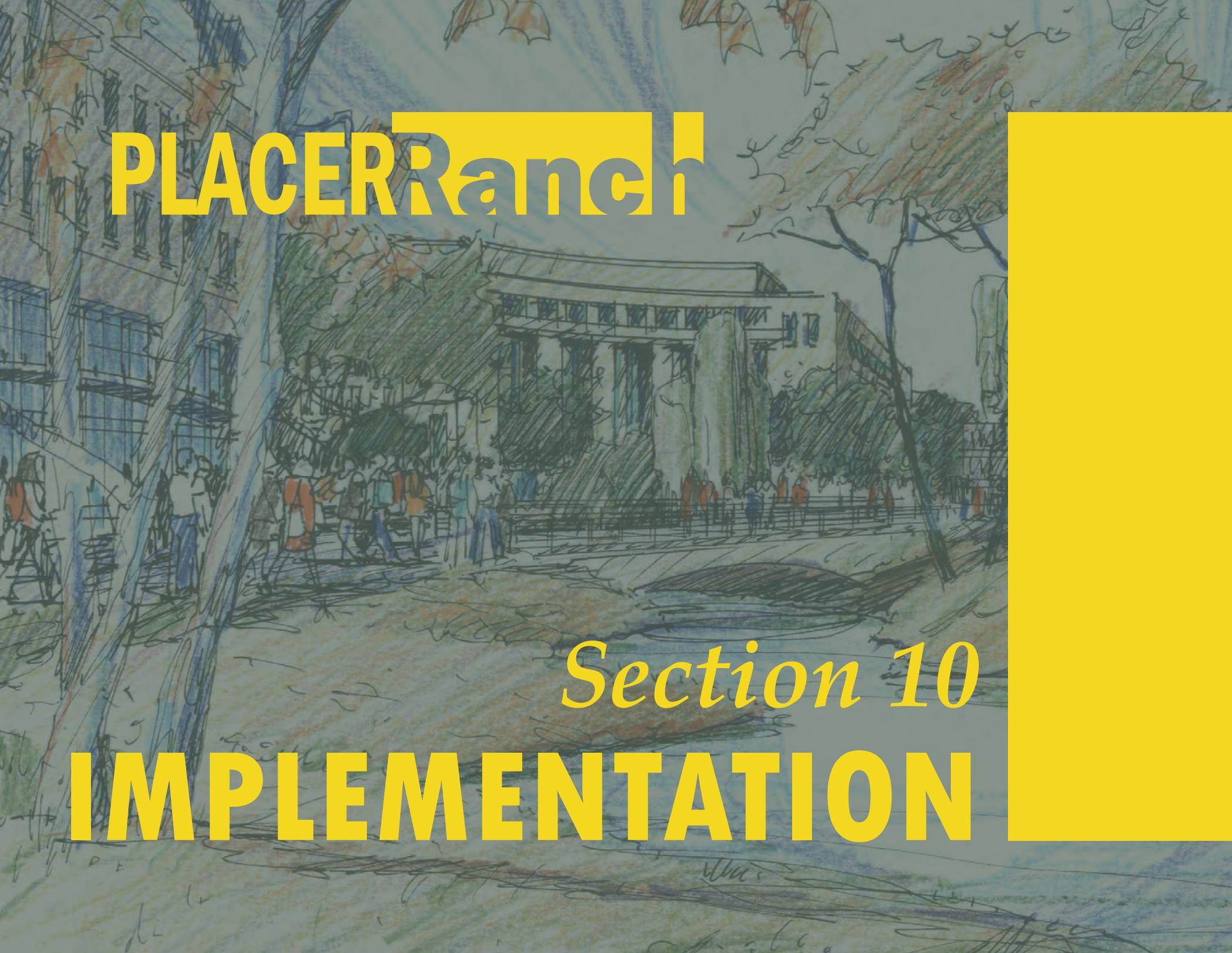
As project development occurs, distribution lines will be extended from existing infrastructure to individual parcels in conjunction with roadway improvements. All new telecommunication lines are to be installed underground.

Through the preparation of utility improvement plans, various providers will review delivery of telephone, cable television, and high speed data line services to individual projects in the Plan Area once applications for service are received.

I. Solid Waste

The PRSP is anticipated to generate short-term construction debris and long-term solid waste. Solid waste disposal services are provided by Recology Auburn Placer, a private collection firm. Solid waste is collected and delivered to the Western Regional Sanitary Landfill (WRSL), located approximately one mile north of the Plan Area at the intersection of Fiddymont Road and Athens Road. The Class II/III facility is owned by the Western Placer Waste Management Authority (Authority), which is comprised of Placer County and the cities of Lincoln, Roseville, and Rocklin.

The Authority owns a Material Recovery Facility (MRF) that is located on the same site as the WRSL. The MRF receives, separates, processes, and markets recyclable materials removed from the waste stream. Residual waste is transferred to the WRSL for disposal. Based on the permitted configuration and projected growth rates in the region, the WRSL has capacity through the year 2058. The County anticipates additional expansion of the WRSL due to the projected growth in western Placer County.



PLACER Ranch

Section 10

IMPLEMENTATION

COUNTY
OF

Placer



Placer Ranch

10 implementation

- A. Implementation Overview
- B. Regulatory Authority & Severability
- C. Relationship to County Plans
- D. Specific Plan Companion Documents
- E. Related Documents
- F. Conceptual Infrastructure Phasing Plan
- G. Financing of Public Improvements
- H. Subsequent Entitlements and Approvals
- I. Interpretations, Mod's & Amendments
- J. Residential Unit Transfers

10 implementation

A. Implementation Overview

A Specific Plan is a regulatory document that is used to implement the Placer County General Plan through the development of policies, programs, and regulations that provide an intermediate level of detail between the General Plan/Sunset Area Plan and individual development projects. The Placer Ranch Specific Plan (PRSP) is the primary land use, policy, and regulatory document used to guide long-term development.

Implementation of the PRSP is intended to result in the systematic and orderly development of the Plan Area, consistent with the overarching vision for the project. To achieve this intent, this Specific Plan establishes a development framework for land use, circulation, utilities and services, resource protection, and implementation, which are outlined in the prior sections. It also includes a conceptual program for the phasing of infrastructure to support development, financing and construction of public improvements, review of individual development projects, transfer of residential units, and process for Specific Plan amendments/minor modifications. All subsequent development projects and related activities are required to be consistent with the PRSP.

B. Regulatory Authority & Severability

Placer County is authorized to adopt this Specific Plan pursuant to the provisions of California Planning and Land Use Law (Title 7, Chapter 3, Article 8 [Sections 65450 – 65457] (Planning and Zoning Law) of the California Government Code and of Section 17.58.200 of the Placer County Zoning Ordinance. More specifically, Government Code Section 65451 requires that a Specific Plan include a program of implementation measures necessary to carry out its proposed land uses, infrastructure, development standards, and criteria.

Implementation of the PRSP is to be administered by Placer County. As a mechanism for the implementation of the goals and policies of the General Plan, State law stipulates that a Specific Plan can only be adopted or amended if it is consistent with the jurisdiction's adopted General Plan. This Specific Plan is consistent with the policies of the Placer County General Plan, Sunset Area Plan, as well as other applicable State and local regulations.

In the event that any regulation, condition, program or portion of this Specific Plan is held invalid or unconstitutional by a California or Federal court or other jurisdictions, such portions shall be deemed separate, distinct and independent provisions and the validity of such provisions shall not affect the validity of the remaining provisions thereof.

In such an event, the Planning Director may determine if an amendment to the Specific Plan is required to replace the stricken provision with an alternative regulation, condition, program or portion of the Specific Plan in order to maintain consistency of the Specific Plan with the General Plan goals and policies and to maintain internal consistency with the remaining Specific Plan goals, policies and/or regulations.

C. Relationship to County Plans

GENERAL PLAN

The Placer County General Plan serves as the long-term policy guide for the physical and economic development of the County. The County's core values are the foundation of the General Plan and the underlying basis for its vision and direction.

The PRSP implements the goals and policies of the General Plan and augments these goals and policies by providing specific direction to reflect conditions unique to the Plan Area. At the time of Specific Plan approval, the General Plan and incorporated documents were amended to reflect Placer Ranch's land uses and development program. The PRSP is consistent with the General Plan and incorporated documents as amended.

SUNSET AREA PLAN

Placer Ranch is located within the boundaries of the Sunset Area Plan (SAP), a defined Community Plan area in the Placer County General Plan. A Community Plan is a regulatory document that implements the goals, policies, and programs of a General Plan, and the SAP is one of several community plans that is used to guide development activity in the County. Placer Ranch's development plan is consistent with the provisions of the SAP. Furthermore, the PRSP implements the SAP by providing specific details facilitate the Plan Area's long-term development, as required by State law.

PLACER COUNTY CODE

The Placer County Code is one of the primary tools for implementing the General Plan. For new developments, the Code's key components are the Zoning Ordinance, Subdivision Ordinance, Building and Development Ordinance, and Environmental Review Ordinance, which are used in tandem with this Specific Plan to implement the development program.

SPECIFIC PLAN AREA ZONING

The zoning of the Placer Ranch Specific Plan is SPL-PRSP. The SPL- prefix is the County's Specific Plan zone district that is applied to all Specific Plan projects. For the PRSP, the SPL district is combined with the Placer Ranch Specific Plan to function as the zoning text and map for the PRSP.

D. Specific Plan Companion Documents

Two companion documents are to be used in tandem with the Placer Ranch Specific Plan in order to review development projects as the Plan Area builds out. These include the Placer Ranch Development Standards (PRDS) and the Placer Ranch Design Guidelines (PRDG).

DEVELOPMENT STANDARDS

The Placer Ranch Development Standards have been adopted by ordinance. This document augments both this Specific Plan and the Placer County Zoning Ordinance by providing specific regulations for the development of individual projects within the Plan Area.

The PRDS document functions as the PRSP's zoning code, and as such, it establishes the permitted uses and development standards for the various land uses shown on the development plan. Rather than rely solely on the County's Zoning Ordinance, the PRDS document is custom-tailored to Placer Ranch in order to ensure that development projects are implemented consistently and in a manner that achieves the vision described in Section 3.

The PRDS includes custom-tailored permitted uses, development standards, and other regulations for the Plan Area in order to allow for the expected development patterns. As such, the zoning regulations provided in the Placer Ranch Development Standards supersede the Placer County Code's Zoning regulations. Additionally, where a standard is not provided in the

PRDS, the standards contained in the Placer County Zoning Ordinance, Placer County Code, and/or Land Development Manual shall apply.

When evaluating development projects, where the PRSP Development Standards are silent, the County's Zoning Code prevails. This means that the PRSP's standards supersede, replace, and take precedence over conflicting County standards governing the PRSP.

DESIGN GUIDELINES

The Placer Ranch Design Guidelines have been adopted by resolution. This document augments the Specific Plan by providing additional detail regarding the design, review, and approval of individual projects within the Plan Area. Elements addressed include landscape architecture, entry features and signage, parks and paseos, residential architecture and subdivision design, and the Town . Development projects are required to comply with the Placer Ranch Design Guidelines.

E. Related Documents

The Placer Ranch Specific Plan, Development Standards, and Design Guidelines are implemented by Placer County with several supporting documents. This includes a Development Agreement, Financing Plan, Large Lot Subdivision Map, and Environmental Impact Report, including a Mitigation Monitoring and Reporting Plan. These documents are used to help implement the Specific Plan to ensure full implementation of the General Plan's goals and policies.

DEVELOPMENT AGREEMENT

Prior to development within the Plan Area, Placer Ranch's ownership entity is required to execute a Development Agreement with Placer County in order to vest development rights. The development agreement is approved by the County in accordance with applicable State and local codes, and as such, functions as a legal and binding contract between Placer County, the property owner(s), and any successors-in-interest. The Placer Ranch Development Agreement outlines specific development rights, establishes obligations for infrastructure improvements and land dedications, secures the timing and methods for financing improvements, and specifies other performance obligations for development of the PRSP.

10 implementation

FINANCING PLAN

A Financing Plan has been prepared for the Placer Ranch Specific Plan and it is hereby incorporated by reference. The PRSP Financing Plan outlines the cost for all backbone infrastructure needed to serve the different development phases and includes a plan, with funding mechanisms, to construct the Plan Area's public facilities. For specific details on the financing strategy, please refer to the Placer Ranch Financing Plan, on file with Placer County.

LARGE LOT SUBDIVISION MAP

A Large Lot Tentative Subdivision Map has been prepared for the project. It depicts the tentative parcel boundaries resulting from subdivision of the property, which corresponds with the land use plan illustrated in PRSP Section 4. The Map also provides a legal description of the property and includes associated land use data, roadway alignments, street sections, and legal notes. The Placer Ranch Large Lot Tentative Subdivision Map is on file with the County's Engineering and Survey Division.

ENVIRONMENTAL IMPACT REPORT

An Environmental Impact Report (EIR) was certified concurrent with approval of the PRSP. The EIR, prepared in accordance with the California Environmental Quality Act (CEQA), examines the potential direct and indirect environmental effects associated with development of the PRSP and identifies appropriate mitigation measures to reduce impacts determined to be significant. The EIR analyzes the PRSP at a project level, and serves as the base environmental document for purposes of evaluating subsequent entitlements and development projects within the Plan Area.

F. Conceptual Infrastructure Phasing Plan

The PRSP provides for a comprehensively planned infrastructure system with coordinated phasing and construction of facilities. A series of infrastructure construction phases are anticipated as the community builds out over time. A conceptual plan for infrastructure phasing boundaries is shown on Figure 10-1.

The conceptual infrastructure phasing plan is structured such that infrastructure improvements in each phase can support its respective development in compliance with County policies and standards, and that the development in each phase can support the costs of the required improvements. Infrastructure phases identified in the phasing plan may be modified at the discretion of the County, subject to criteria established in the Placer Ranch Development Agreement.

The infrastructure requirements for each phase of development include all on-site backbone infrastructure and off-site facilities necessary for the build out of each phase. These include roadways, sewer, water, recycled water, storm drainage, dry utility, schools, parks, and other facilities and improvements. All in-tract sewer, storm drain, water, dry utilities, and recycled water (if applicable) are to be installed as part of local project improvements.

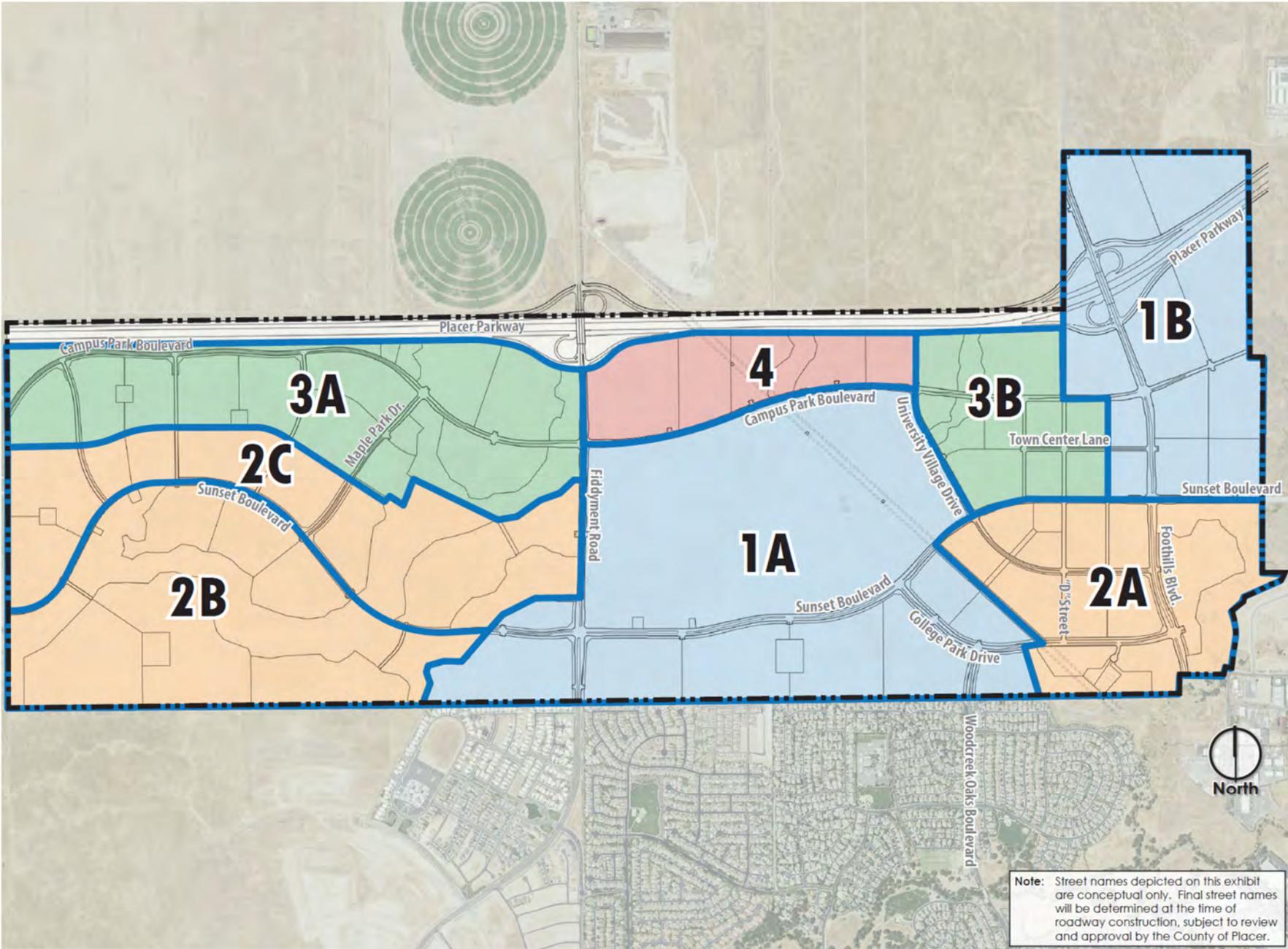


FIGURE 10-1: CONCEPTUAL INFRASTRUCTURE PHASING PLAN

10 implementation

G. Financing & Maintenance of Public Improvements

Construction of public improvements to serve Placer Ranch is to be funded through a variety of mechanisms including County Service Areas (CSAs), Community Facilities Districts (CFDs), County impact fees, school impact fees, developer financing, and other methods. Several financing mechanisms may be used to construct public facilities, which are summarized on Table 10-1 and described in general terms below. For specific details on the funding strategy, please refer to the Placer Ranch Financing Plan.

FINANCING OPTIONS

Descriptions of the various financing options for Placer Ranch are noted below:

→ **Developer Financing:** Direct developer/ merchant builder financing may be used to contribute towards backbone improvements and facilities, shortfall financing, and for in-tract subdivision improvements. This funding source may also be used for improvements not included in existing fee programs or through a CFD. Some of the improvements to be funded through developer funding/private capital may be subject to, where appropriate, reimbursement agreements with the County or other applicable entity.

Developers may either receive fee credits or reimbursements for advancing eligible projects based on the reimbursement

structure described in the Development Agreement. Developer funding will finance costs associated with in-tract infrastructure such as neighborhood roadways, street frontage improvements including landscaping, lighting, local water distribution lines, sewer collectors and laterals, storm drains and stormwater quality facilities.

→ **Community Facilities District:** A Community Facilities District (CFD) is a financing mechanism by which a special tax is levied over a geographic area (district) to fund facilities, improvements, and/or services that benefit properties within the district. The regulatory authority to establish a CFD comes from the 1982 Mello-Roos Community Facilities Act, whereby a county can establish a CFD and use the proceeds of a special tax to fund various facilities and services. One or more CFD's may be established to fund the construction and/or acquisition of backbone infrastructure and facilities that serve Placer

TABLE 10-1: PUBLIC IMPROVEMENTS FINANCING

| Improvement/Facility | Financing Options | Maintenance Provider | Maintenance Funding |
|---|--------------------------------|----------------------------|----------------------------|
| Roads/Landscape in H.E. | CFD/ Developer Financing | Placer County | CSA/CFD |
| Landscape Corridors | CFD/ Developer Financing | Placer County | CSA/CFD* |
| Storm Drain Infrastructure | CFD/ Developer Financing | Placer County | CSA/CFD |
| Water Infrastructure | CFD/ Developer Financing | Placer County Water Agency | User Fees |
| Sewer Infrastructure | CFD/ Developer Financing | Placer County | CSA |
| Recycled Water Infrastructure | CFD/ Developer Financing | Placer County | CSA/PCWA fee |
| Electric Facilities | CFD/ Developer Financing | PG&E | User Fees |
| Parks & Paseos | CFD | Placer County | CSA/CFD |
| Class I Trails & Class I Corridor Trails | Fees/ CFD/ Developer Financing | Placer County | CSA/CFD |
| Open Space Preserves | CFD/ Developer Financing | Third Party Manager | Endowment/CFD |
| Open Space Amenities | CFD/ Developer Financing | Placer County | CSA/CFD |
| Fire Facilities | Fire/ Public Facilities Fee | Placer County Fire | CFD2012-1 (Sunset Fire/ES) |
| Schools | Impact Fees/ State Funding | Local School Districts | Property Taxes |
| Other County Facilities | County-Wide Facilities Fee | Placer County | CSA |

* Obligations for landscape corridor maintenance, including providers and funding sources, is outlined in the Development Agreement.

Ranch. In addition, a separate CFD for Services may be established for maintenance of certain facilities that provide special benefit to Placer Ranch. Such facilities may include roads, landscape corridors and medians, open space preserves, bike paths, detention facilities, neighborhood parks, or other community feature with a public benefit. In addition, the CFD for Services may be used to fund governmental services that directly benefit residents of Placer Ranch, including sheriff, fire, and other governmental services. Establishment of any CFD for infrastructure or services is subject to conformance to the Placer County Bond Screening Committee Rules and Procedures.

- **Town Center Parking Assessment District:** A Town Center Parking Assessment District may be established by the County to accommodate Town Center parking needs.
- **Town Center Special Assessment District:** A Town Center Special Assessment District may be established by the County to fund community needs such as street and sidewalk cleaning and maintenance, street furniture, trash enclosures, bicycle racks, etc.
- **Public Agency Impact Fees:** Placer County and other public agencies have various development impact fees to finance capital improvements. The fee structure requires the payment of fees prior to issuance of a building permit. These fees include, but are not limited to, the following:
 - * County Public Facilities Fee
 - * Traffic Mitigation Fees (from all applicable public agencies)
 - * Regional Traffic Mitigation Fees (SPRTA Fee)
 - * Dry Creek Watershed Drainage Fee
 - * Placer County Fire Facilities Impact Fee
 - * Placer County Water Agency Fees
- **School Impact Fees:** The school districts within the Plan Area have established fees, in accordance with Section 17620 of the California Education Code, to be used to construct school facilities. Pursuant to Section 65995 of the California Government Code, these school impact fees will be collected by the school district prior to issuance of a building permit.

- **Project Specific Fees:** Other fee programs may be established to fund improvements within Placer Ranch. These fees are specific to the Plan Area, payable at building permit, and could include a roadway fee, air quality mitigation fee, open space fee, park and trail fee, or other fee as outlined in the Placer Ranch Development Agreement.

Other financing mechanisms may be utilized, including creation of private districts or associations to fund construction of facilities within Placer Ranch. The PRSP's financing requirements, improvement obligations, fees, reimbursements, land and easement dedications and conveyances, maintenance, and other financing and improvement-related obligations are detailed in the Placer Ranch Development Agreement.

MAINTENANCE FUNDING OPTIONS

Maintenance providers and funding sources for the PRSP's facilities are listed in Table 10-1. These funding sources are described below:

- **County Service Areas:** One or more County Service Area (CSA) Zone(s) of Benefit will be created and assessments will be established to fund on-going maintenance of public improvements. CSA Zones of Benefit may fund maintenance of improvements such as streets, street lighting, parks, trails, fire, and emergency services and sewer maintenance. County Service Area 28 has been established for Placer Ranch with zones of benefits for various services.
- **CFD for Services:** Community Facilities Districts (CFDs) may be established to help fund ongoing maintenance of public improvements in Placer Ranch. This funding source may be used for park and paseo maintenance, landscape maintenance, emergency services, and other improvements as allowed by law and subject to the rules and procedures of the Placer County Bond Screening Committee. The CFDs for services would be an alternative to County Service Areas.
- **Homeowners' Associations:** Homeowners' Associations (HOAs) may be used to fund maintenance of private facilities. HOAs may only be used for operations and maintenance of facilities in common areas. HOA's could be formed in two types of entities: 1) A Master HOA that would own and maintain facilities over several neighborhoods; and/or 2) An Individual HOA for a residential neighborhood(s) that would own and/or maintain internal roads, landscaping, and improvements specific to its neighborhood.

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H. Subsequent Entitlements and Approvals

COUNTY REVIEW REQUIREMENTS

Individual development projects within the PRSP are subject to review and approval of subsequent permits and entitlements by Placer County (e.g., subdivision review, design review, conditional use permits, variances, and/or other permits). Application and processing requirements shall be in accordance with the Placer County Code, unless otherwise modified by this Specific Plan.

All subsequent development projects, public improvements, and other activities shall be consistent with this Specific Plan, Development Standards, and Design Guidelines, the Placer Ranch Development Agreement, and all applicable Placer County policies, requirements, and standards. In acting to approve a subsequent project or permit, the County may impose conditions as are reasonably necessary to ensure that the project is in compliance with the Specific Plan and all then applicable plans and regulations.

Development Plan Review

The Placer County Development Review Committee (DRC) is responsible for determining the consistency of any development proposal with the PRSP, then forming a recommendation to the decision making body. Based on the type of permit sought, permits are acted on by the Planning Director, Zoning Administrator, or Planning Commission pursuant to the administrative procedures outlined in Article 17.58 of the Placer County Zoning Ordinance.

Environmental Review

All applications for a development entitlement that are submitted after approval of the Specific Plan shall be reviewed for conformity with the Specific Plan and for compliance with the California Environmental Quality Act (CEQA), Public Resources Code Section 21000 et seq. The Placer Ranch Environmental Impact Report (EIR) shall serve as the base environmental document(s) for subsequent entitlement approvals within the Plan Area.

By definition under Section 65457(a) of the California Government Code and the CEQA Guidelines Section 15182, any residential development

project, including any subdivision, that is undertaken to implement and is consistent with the Specific Plan, is exempt from additional CEQA review.

All applications for a development entitlement shall be accompanied by an application for Subsequent Conformity Review (Environmental Questionnaire) for review by the Environmental Review Committee. If it is determined by the Environmental Review Committee that the application or amendment is inconsistent with the Specific Plan and/or that substantial evidence exists which supports a determination of the occurrence of any of the events set forth in CEQA Guidelines Section 15162, a determination will be made as to the appropriate subsequent environmental document.

Mitigation Monitoring

A mitigation monitoring and reporting program (MMRP) consistent with Public Resources Code Section 21081.6 was adopted with the Placer Ranch EIR. The MMRP will be used by County staff and project developers to ensure compliance with mitigation measures during project implementation.

The MMRP is contained in the Placer Ranch EIR. Monitoring and documentation of mitigation measures will be coordinated by County staff according to Article 18.24 of the Placer County Environmental Review Ordinance.

FEDERAL & STATE APPROVALS

Prior to the initiation of any physical backbone improvements or development projects within the Plan Area, approvals from federal and state agencies are required. Once approvals from the various agencies are secured, individual development projects may proceed, subject to applicable permits issued by the County. Other agencies that have jurisdiction include:

- **United States Army Corps of Engineers:** Approval from the U.S. Army Corps of Engineers (USACE) is required for a Section 404 Individual Permit and associated NEPA document to allow for the fill of wetlands within the Plan Area.
- **United States Fish and Wildlife Service:** Section 7 of the Federal Endangered Species Act requires consultation with various Federal agencies for the issuance of a Biological Opinion.
- **Regional Water Quality Control Board:** Two approvals are required from the Regional Water Quality Control Board, Central Valley

Region; a Section 401 Water Quality Certification, and a National Pollutant Discharge Elimination System permit regarding stormwater discharges into creeks and drainages.

- **State Water Resources Control Board:** Approval from the State Water Resources Control Board is needed for a Master Reclamation Permit for the use of recycled water.
- **California Department of Fish and Wildlife:** Approval from the California Department of Fish and Wildlife is required for a Streambed Alteration Agreement regarding adjustments to the drainages within the Plan Area.

I. Interpretations, Administrative Modifications & Amendments

INTERPRETATIONS

Interpretations are judgments that apply the vision, goals, and intent of the Specific Plan to specific issues and situations related to the land use decisions and development. Interpretations are generally limited to details where the requirements and guidelines of this Specific Plan may appear to provide alternative guidance or that may conflict with regulations in the County Code, which are not addressed in the PRSP, or that may differ from other adopted County policies or requirements of other agencies.

Interpretations may be needed when the County is considering discretionary development applications (such as a subdivision map), or ministerial application (such as a building permit). Interpretations for the PRSP shall be made as described in County Code Section 17.02.050 of the Placer County Zoning Ordinance. In making interpretations, the Planning Director shall consult with any other affected County department or other agency as needed.

DETERMINATIONS FOR ADMINISTRATIVE MODIFICATIONS AND SPECIFIC PLAN AMENDMENTS

Because development of the Plan Area will occur over several years, it is anticipated that adjustments to the PRSP will occur in order to accommodate evolving market conditions during the course of buildout. To provide a degree of flexibility to respond to changing conditions, the PRSP allows for minor amendments (Administrative Modifications) and major amendments (Specific Plan Amendments) to the PRSP. The Planning Director is authorized to determine whether a proposed modification to the PRSP requires approval via an Administrative Modification or Specific Plan Amendment. Amendments to the adopted PRSP shall be categorized by the Planning Director as either an Administrative Modification or a Specific Plan Amendment. Any such determination may be appealed pursuant to County Code Section 17.60.110.

All requests to amend the PRSP shall be made using the appropriate application forms, required documentation, and applicable fees as established by the County CDRA and Planning Services Division. Any or all of the following information may be required:

- Detailed justification statement explaining why an amendment to the Specific Plan is warranted, and any exhibits deemed necessary by the Planning Director;
- A statement of consistency with General Plan policies and Specific Plan land use designations;
- A statement of consistency with the Specific Plan;
- Analysis as required by CEQA; and
- Identification of any required modifications of the public infrastructure improvements that are not currently mandated by the Specific Plan (description, location, timing, funding source, etc.).

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ADMINISTRATIVE MODIFICATIONS

Administrative Modifications do not have a significant impact on the character of the PRSP. Administrative Modifications are consistent with the spirit and intent of the vision, goals, and policies of the Specific Plan. Administrative Modifications shall conform to the following criteria:

- The Planning Director determines that the proposed adjustments to the development standards and design guidelines are offset by the merits of the proposed design and do not significantly change the anticipated physical characteristics, goals, and intent of the Specific Plan;
- Proposed changes to the alignment of arterials or local streets, if adopted, would not substantially alter the land use or circulation concepts set forth in the Specific Plan;
- Proposed changes to land use parcels or to the alignment of collector and local streets maintain the general land use pattern and/or provide an improved circulation system consistent with the intent and direction of the vision of the Specific Plan;
- Adjustments to the size, shape, and location of park parcels maintains the overall distribution of park spaces identified on the land use plan and does not create an additional plan-wide land dedication shortfall;
- The proposed change will not result in an increase in environmental impacts beyond levels identified in the EIR; and
- The proposed change, including dwelling unit transfers, will not result in an increase in the total maximum number of units allocated to the Plan Area, as described in the Land Use section.

Examples of minor, Administrative Modifications to the PRSP include, but are not limited to:

- The addition of new or updated information that does not substantively change the Specific Plan.
- Minor adjustments to: Land use boundaries of any specific plan parcel, including park parcels and open space parcels, and/or street alignments, so long as the general land use pattern is maintained.
- Minor changes to the size and shape of specific plan parcels, provided that: 1) any acreage adjustments are no greater than 10% of the largest parcel being modified; 2) the modification is in substantial

conformance with the PRSP land use plan; and 3) any resulting dwelling unit transfers meet the unit transfer criteria provided later in this section.

- Interpretations of development standards, if it is determined that such interpretations are equal to or better than the original intent of the PRSP.
- Changes to the provision of public infrastructure and construction timing that do not impact the level of service provided or affect the development capacity in the Plan Area.
- Modifications to the Design Guidelines, (such as revisions to design treatments, changes in specified plant materials, alterations of site concept plans, etc.), if it is determined that the design intent is maintained.

An Administrative Modification may be reviewed and acted upon by the Planning Director. No Planning Commission or Board of Supervisors review is required, unless the Planning Director's decision on the Administrative Modification is appealed.

SPECIFIC PLAN AMENDMENTS

A Specific Plan Amendment (SPA) is any change proposed to the Specific Plan that could increase environmental impacts or create other changes that the Planning Director determines to be significant. A SPA is the appropriate procedure where changes to the Specific Plan are proposed that meet one or more of the following criteria:

- A new type of land use not specifically intended in the Specific Plan or identified in the Land Use Plan is proposed.
- Changes are proposed that increase the overall residential density or number of dwelling units allocated to the Plan Area.
- Changes are proposed in lot design and/or parcel size which result in a substantial and significant change in the character of the area.
- Conversion of age-restricted units to unrestricted units, which results in increased infrastructure and/or public services demands.
- Significant changes to the Plan Area's circulation pattern that would result in a substantial alteration of any land uses or circulation concepts.
- Significant changes to the distribution of land uses or elimination of a major land use of the Plan, which would substantially alter the overall mix of land uses set forth in the Land Use section of the Specific Plan.
- Changes to, or deletion of, any Specific Plan provision that results in a substantial and significant change to the overall character or intent of the Plan.

An amendment to the PRSP shall be processed in the same manner as the original adoption of the PRSP, as set forth in County Code, Chapter 17, Article 17.60.090. The PRSP may be amended as many times as necessary.

Specific Plan Amendments require Board of Supervisors approval, with a prior recommendation forwarded by the Planning Commission. Approval of a SPA shall require findings and conclusions in the affirmative on the following:

1. The SPA is consistent with the General Plan;
2. The SPA does not have a significant effect on the environment and does not create new impacts that were not otherwise analyzed in the project EIR;

3. All other plans of the County that are applicable to the same areas or matters affected by a General Plan Amendment have been reviewed and amended as necessary to be consistent with the proposed SPA; and
4. The amendment does not compromise the project's community benefits that would otherwise exist without the proposed amendments.

DEVELOPMENT STANDARD MODIFICATIONS AND VARIANCES

Development Standards Modifications

The PRSP Development Standards may be amended as many times as necessary pursuant to the provisions of Government Code Section 65853 et seq. and County Code Chapter 17, Article 17.60.090, unless the application to amend the Development Standards is accompanied with a concurrent General Plan Amendment request.

If the proposed modifications are consistent with the approved Specific Plan, a concurrent SPA shall not be required to revise the Development Standards provided that revisions to the Development Standards satisfies all of the following:

- The alternative development standard will result in a project of improved design and/or greater community benefits than would otherwise be possible without the proposed alternative development standard.
- The revision in the Development Standard does not materially change a physical characteristic of the anticipated development.
- The objectives and intent of the Specific Plan are better served through the revision of the Development Standard.
- The revision in the Development Standard does not materially change the general land use pattern of the Plan Area.
- The revision in the Development Standard is consistent with the Specific Plan and General Plan.
- No increase in density will result through the revision of the Development Standard except as authorized via the residential unit transfer provisions, outlined later in this section.

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Development Standard Variances

Variances to the Development Standards may be requested. The Zoning Administrator is authorized to hear any applications for variances to Development Standards. Decisions of the Zoning Administrator may be appealed pursuant to County Code Chapter 17, Article 17.60.100.

The Zoning Administrator may approve variances to development standards provided the following findings can be affirmatively made:

- The intent and objectives of the Specific Plan are better served through an variance to the Development Standards.
- The granting of the variance does not result in unmitigated impacts to the Plan Area.
- The variance to the Development Standards does not materially change the PRSP's general land use pattern or the physical character of the project.
- The objectives and intent of the Specific Plan are better served through the revision in the Development Standard.
- The variance to the development standards does not compromise the PRSP's design that would otherwise exist without the requested variance.

SUBDIVISION MAP REVISIONS

Revisions made to any tentative subdivision map(s) approved with or subsequent to this Specific Plan shall not require a concurrent amendment to the Specific Plan unless it results in one of the changes addressed previously.

The County Surveyor, in consultation with the Environmental Review Committee, is authorized to determine substantial conformance of a final map with the approved tentative map based on all of the following:

1. The revision does not result in an increase in the permitted number of total units of the approved specific plan;
2. The revision does not substantially alter the location of the major streets or intersections;

3. The amendment will not have a significant effect on the environment and does not create new impacts that were not otherwise analyzed in the project EIR;
4. The revision does not substantially alter the provision for major infrastructure improvements, such as water and sewer services; and
5. The revision does not substantially alter the location of public parks and recreational facilities.

J. Residential Unit Transfers

It is the intent of the Specific Plan to permit flexibility in adjusting the residential allocations within the Plan Area. In the PRSP Land Use section, residential unit allocations have been assigned to specific plan parcels throughout the Plan Area and this includes a pool of reserve units assigned to the Town Center. These assignments were made at the time of Specific Plan approval based on an assessment of the constraints and opportunities of each parcel, as well as the anticipated long-term demand for different types of housing.

As individual residential small lot subdivision maps are processed, a more detailed assessment of site, market, and other conditions will occur. It is anticipated that this process may result in the need to adjust (reduce or increase) the number of units assigned to some residential specific plan parcels with a unit allocation (including CMU parcels in the Town Center).

The PRSP includes a provision that allows the County to approve minor residential density adjustments and permit the transfer of residential units between specific plan parcels with a LDR, MDR, HDR, or CMU land use designation. The Planning Director may administratively approve a residential unit transfer/ density adjustment between specific plan parcels provided the following conditions are satisfied:

1. The transfer and receiving parcels are located within the PRSP and the total unit allocation does not exceed that listed in the Land Use section of this Specific Plan;
2. The transfer does not result in an increase in the total maximum number of approved dwelling units allocated to the Plan Area, as outlined in the PRSP Land Use section.

3. The resulting density does not change the land use designation (i.e. from LDR, MDR, or HDR to any other residential designation), and specifically, that the transfer does not: (a) reduce the number of units from the transfer parcel below the minimum number of units allowed by the applicable land use designation's density range; or (b) increase the number of units to the receiving parcel above the maximum number of units allowed by the applicable land use designation's density range;
4. The transfer is made between parcels before a small lot final map is approved by Placer County for either the receiving or sending parcel;
5. The transfer of units does not result in increased impacts beyond those identified in the Placer Ranch EIR or significantly affect planned infrastructure, roadways, schools or other public facilities, or the Plan Area financing districts;
6. The cumulative increase or decrease in units resulting from the adjustment does not change the unit allocation by more than 20% of the units to either the transfer or receiving parcel, as established at the time of the original specific plan approval. Transfers greater than 20% may be granted but require review and approval by the Planning Commission;
7. HDR units designated as affordable units may be transferred administratively until such time that they are encumbered by an Affordable Housing Regulatory Agreement (or other form as approved by the County), provided that there is no reduction in the total number of HDR units between the sending and receiving parcels; and
8. Within the Town Center district, the 150 reserve dwelling units may be transferred to any CMU, MDR, or HDR parcel(s) in the district, provided that residential parcels maintain the established density range for the residential land use designation prior to the transfer.

The transfer of residential units, if consistent with the above criteria, is administrative in nature, is contemplated by and within the intent of this Specific Plan and the Placer Ranch EIR, and does not require an amendment to the Specific Plan, zoning, Development Agreement, or the General Plan.

To request a residential unit transfer, the owner(s) of both the transferring and receiving parcels shall submit a written request to the Planning Director with information needed to determine compliance with the above criteria. The submittal is considered an Administrative Modification, per provisions

outlined previously in this section, and shall include information identifying the affected parcels and designating the number of units to be transferred, and other documentation requested by the Planning Director.

Residential unit transfers that fulfill the above criteria and are consistent with the intent of the Specific Plan and EIR will be processed as an Administrative Modification. If a request for a residential unit transfer does not comply with the above criteria, the request may be denied or may be referred or appealed to the Planning Commission for consideration.

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COUNTY
OF

Placer®

PRELIMINARY
PUBLIC REVIEW
DRAFT 1/24/18

PLACER Ranch

DEVELOPMENT STANDARDS

COUNTY
OF

Placer



Placer Ranch

PLACER Ranch

DEVELOPMENT STANDARDS

APPROVED BY

Placer County Board of Supervisors

Adopted _____

Ordinance No. ____

LEAD AGENCY



Community Development Resource Agency
3091 County Center Drive
Auburn, CA 95603

acknowledgements

County of Placer

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HydroScience, Water & Recycled Water Utility Systems

Capitol Utility Specialists, Dry Utilities

LIST OF ABBREVIATIONS

| Acronym | Definition |
|----------------|--|
| BOC | Back of Curb |
| BOW | Back of Sidewalk |
| CMU | Commercial Mixed Use |
| CP | Campus Park |
| FTES | Full Time Equivalent Students |
| GC | General Commercial |
| HDR | High Density Residential |
| HE | Highway Easement |
| LDR | Low Density Residential |
| LDR-A | Low Density Residential - Age Restricted |
| LE | Landscape Easement |
| MDR | Medium Density Residential |
| MPE | Multi-Purpose Easement |
| OS | Open Space |
| PE | Pedestrian Easement |
| PF | Public Facilities |
| PL | Property Line |
| PR | Parks & Recreation |
| PRDG | Placer Ranch Design Guidelines |
| PRDS | Placer Ranch Development Standards |
| PRSP | Placer Ranch Specific Plan |
| ROW | Right of Way |
| SAP | Sunset Area Plan |
| SSPC | Sac State Placer Campus |
| TC | Town Center |
| UZ | University |
| WELO | Water Efficient Landscape Ordinance |
| WRSL | Western Regional Sanitary Landfill |

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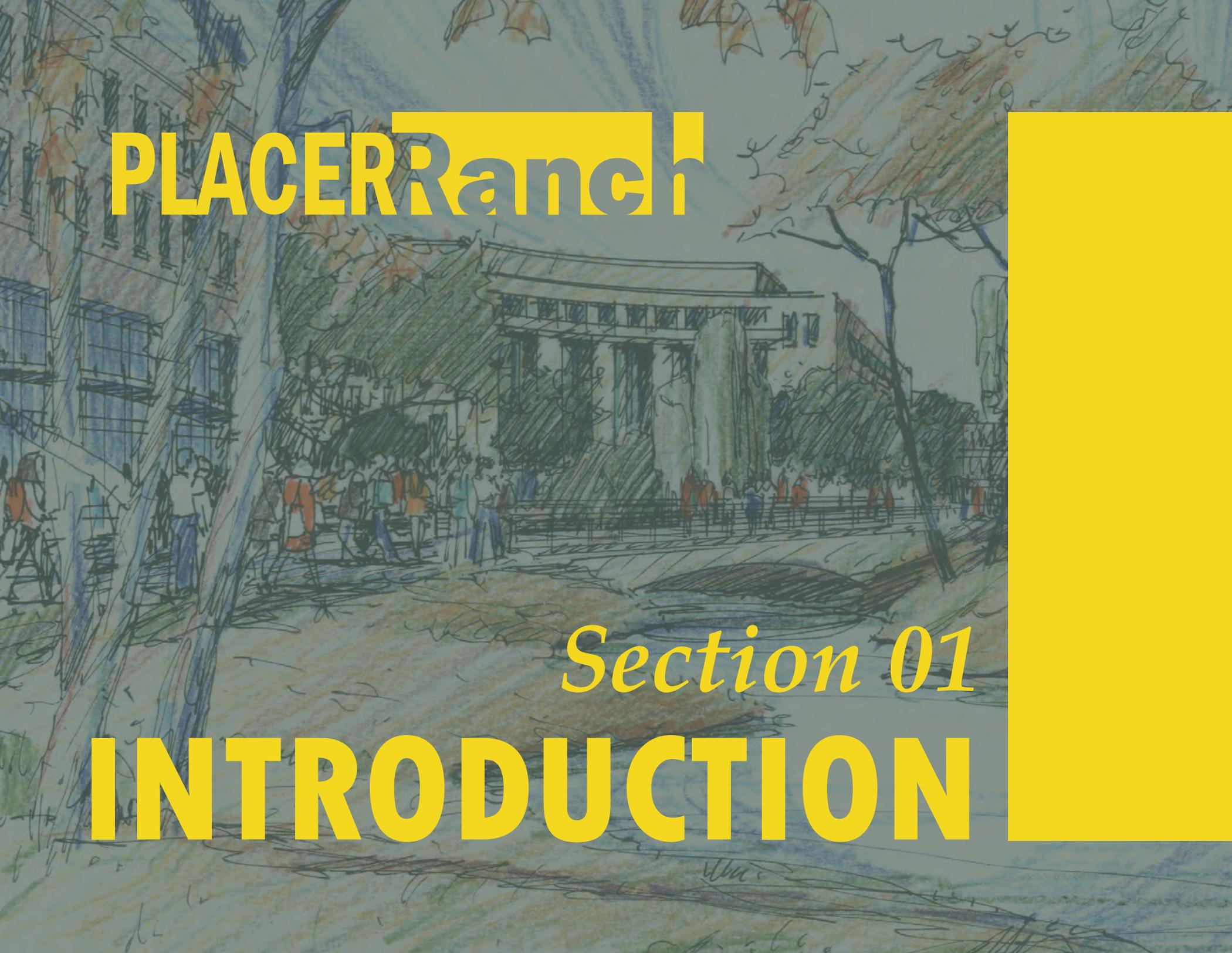
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An architectural sketch of a street scene. On the left is a multi-story building with a grid of windows. In the center is a large, modern building with a flat roof and a prominent vertical element. The street is filled with people, some walking and some standing. There are trees with sparse foliage on the right side. The overall style is a loose, expressive line drawing with some color washes in blue, green, and orange.

PLACER Ranch

Section 01

INTRODUCTION

COUNTY
OF

Placer

Placer Ranch



01 introduction

- A. Overview
- B. Scope of Development Standards
- C. Specific Plan Area Zoning
- D. Development Standards Modifications
- E. Development Plan Review

01 introduction

A. Overview

The purpose of the Placer Ranch Development Standards (PRDS) is to provide the regulatory framework (zoning) for the implementation of the Placer Ranch Specific Plan (PRSP). Adopted by ordinance, the Development Standards establish the permitted uses, development standards, and other regulations for the Plan Area and serve as a stand-alone document governing development, improvements, and construction.

The PRDS provides clear direction to builders, property owners, and County staff for individual development projects as Placer Ranch builds out. They augment both the Placer Ranch Specific Plan and the Placer County Zoning Ordinance by providing specific regulations for the development of individual projects within the Plan Area. As an implementation tool, it is intended that the County apply these standards in a manner that fulfills the vision for Placer Ranch, consistent with the community framework in Section 3 of the PRSP and the Land Use Plan in Section 4 of the PRSP.

B. Scope of Development Standards

The Placer Ranch Development Standards serve as the primary zoning and regulatory tool to implement the Placer Ranch Specific Plan. Mitigation measures governing development and uses have been incorporated where appropriate. All projects are subject to these standards unless otherwise noted.

The Development Standards function as the PRSP's zoning code, and as such, establish the permitted uses and development standards for the various land uses shown on the development plan. Rather than rely solely on the County's Zoning Ordinance, the PRDS's regulations are custom-tailored to Placer Ranch in order to ensure that construction projects are implemented consistently and in a manner that achieves the project vision. The PRDS is not all-inclusive, however. Where a standard is not provided in this document, the standards contained in the Placer County Zoning Ordinance, Placer County Code, and/or Land Development Manual shall apply. The standards herein supersede, replace, and take precedence over conflicting County standards governing the PRSP, except for development on the university site.

C. Specific Plan Area Zoning

The zoning of the Placer Ranch Specific Plan is SPL-PRSP. The SPL- prefix is the County's Specific Plan zone district that is applied to all Specific Plan projects. For the PRSP, the SPL district is combined with the Placer Ranch Specific Plan to function as the zoning text and map for the PRSP.

D. Development Standards Modifications

Administration of the PRSP Development Standards shall be in accordance with Section 10, Implementation, of the Placer Ranch Specific Plan. This includes any requested interpretations, administrative modifications, and/or amendments to these Development Standards, which shall be processed in accordance with the criteria and requirements outlined in PRSP Section 10. Amendments requiring Board of Supervisors' approval shall be processed as a Specific Plan Amendment, as outlined in PRSP Section 10.

E. Development Plan Review

All development within the PRSP is subject to Development Plan Review, a design review process. Consistent with Section 17.52.070(D) of the Placer County Zoning Ordinance, through the Development Plan Review process, applications for subsequent discretionary permits are approved, conditionally approved, or denied based on consistency with applicable development standards.

The Placer County Development Review Committee (DRC) is responsible for determining the consistency of any development proposal with the Placer Ranch Development Standards, then forming a recommendation to the decision-making body. Based on the type of permit sought, permits are acted on by the Planning Director, Zoning Administrator, or Planning Commission pursuant to the administrative procedures outlined in Article 17.58 of the Placer County Zoning Ordinance.



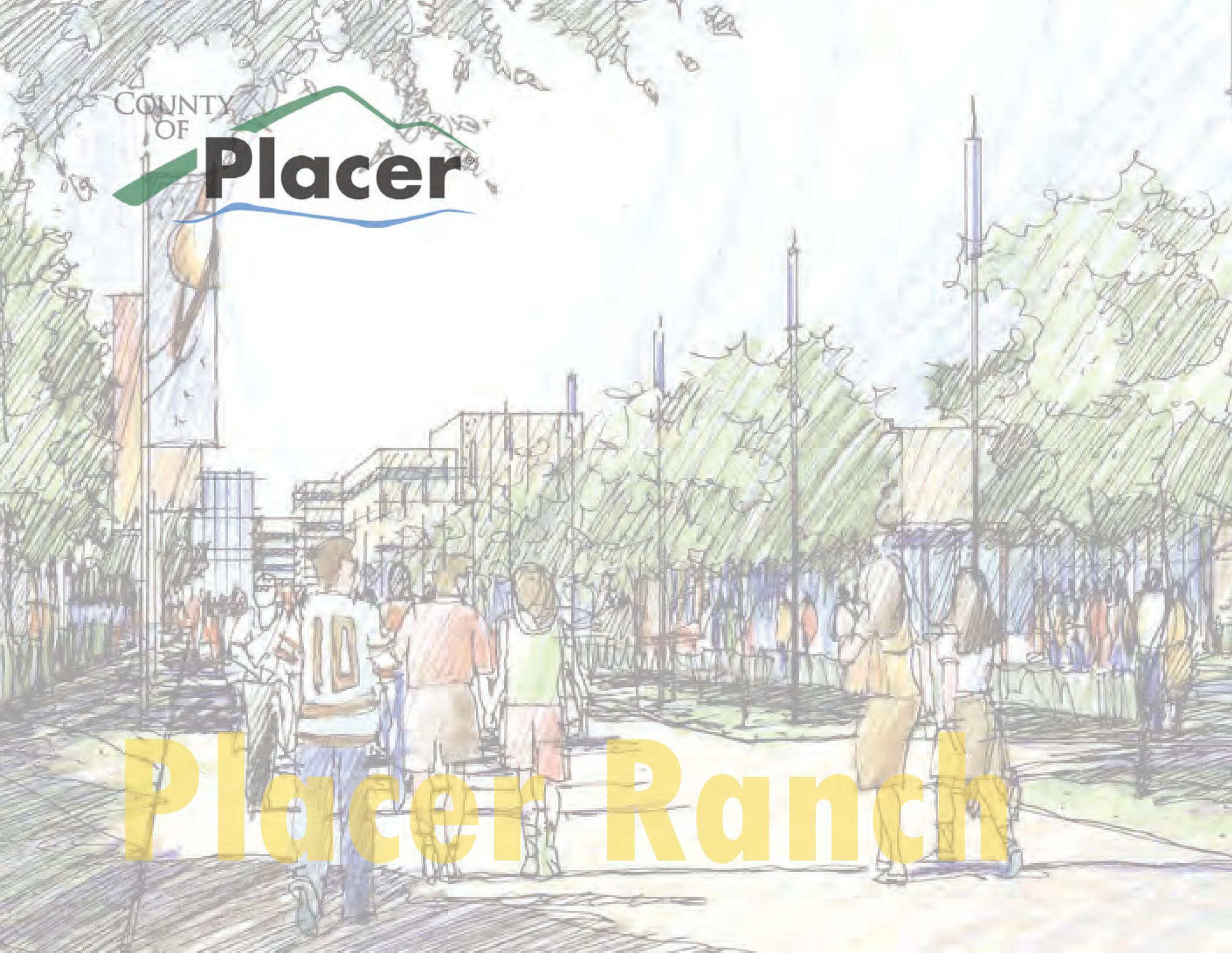
PLACER Ranch

Section 02

RESIDENTIAL STANDARDS

COUNTY
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Placer



Placer Ranch

02 residential standards

- A.** Overview
- B.** Residential Use Designations
- C.** Conventional Residential Parcels
Permitted Uses & Development Standards
- D.** Town Center Residential
Permitted Uses & Development Standards

02 residential standards

A. Overview

Placer Ranch has several residential land use designations, which include Low Density Residential (LDR), Medium Density Residential (MDR), and High Density Residential (HDR). Together, these designations permit housing densities ranging from 1 to 30 units per acre. For these designations, the PRDS includes two types of development standards that are applied to different residential areas in Placer Ranch:

- * **Conventional Residential Parcels:** This type applies to residential parcels that are located in the Campus Arcade, University Creek, and Active Adult neighborhood districts. These residential areas are generally located west of Fiddymont Road and south of the university site where a suburban style of residential development is envisioned.
- * **Town Center Residential Parcels:** This type applies to residential parcels located in the Town Center (TC) district, which is modeled after a traditional, small town setting. This distinction is made to allow an urban style of development.

This section illustrates where each type of residential development standard is to be applied and describes each land use type, and its permitted uses and development standards. Administration of the Placer Ranch Development Standards shall be in accordance with Section 10, Implementation, of the Placer Ranch Specific Plan. This includes any requested interpretations, administrative modifications, and/or amendments to these Development Standards, which shall be processed in accordance with the criteria and requirements outlined in PRSP Section 10. Amendments requiring Board of Supervisors' approval shall be processed as a Specific Plan Amendment, as outlined in PRSP Section 10.



B. Residential Use Designations

All residential parcels in Placer Ranch have one of the following land use designations:

→ **Low Density Residential (LDR & LDR-A):** These designations support single-family detached homes on conventional lots within a gross density range of 1 to 7 dwelling units per acre. Lot sizes typically range between 4,250 and 7,500 square feet, but could be smaller or larger depending on site slope, natural features, and neighborhood design. Typical housing product types include conventional front-loaded, alley-loaded, or clustered, single-family detached units.

The development standards include specific regulations for different types of LDR parcels, as noted below:

* **LDR:** For low-density residential parcels with conventional single-family detached housing.

* **LDR-A:** For low-density residential parcels with age-restricted housing.

→ **Medium Density Residential (MDR):** This designation accommodates both single-family detached homes and attached homes within a gross density range of 6 to 13 dwelling units per acre. Lot sizes are typically smaller than those in LDR areas, which allows greater densities. Single-family detached housing in MDR areas is typically supported on conventional or alley-loaded lots, courtyard lots, green court lots, auto courts, alley clusters, zero-lot lines, z-shaped lots, or other similar lotting types. In addition, duet/ half-plex homes, townhomes, condominiums, or other attached housing types are accommodated in the density range allocated for MDR areas.

→ **High Density Residential (HDR):** This designation primarily supports attached housing, but depending on the unit type, could also include detached housing. The gross density range is 12 to 30 dwelling units per acre. The types of housing units that could be accommodated in this designation include, but are not limited to, detached townhomes, courtyard townhomes/ condominiums, garden-style apartments, and podium design apartments/ condominiums.

All residential land use designations have a single zoning designation, SPL-PRSP, as noted in Table 2-1. The purpose of this zoning designation is to defer development regulations to the Placer Ranch Development Standards instead of the County's Zoning Ordinance.

TABLE 2-1: RESIDENTIAL DESIGNATIONS & ZONING

| Key | Specific Plan Designation | Zoning District |
|--------------|--|-----------------|
| LDR | Low Density Residential | SPL-PRSP |
| LDR-A | Low Density Residential Age-Restricted | SPL-PRSP |
| MDR | Medium Density Residential | SPL-PRSP |
| HDR | High Density Residential | SPL-PRSP |

02 residential standards

C. Conventional Residential Parcels Permitted Uses & Development Standards

OVERVIEW

In Placer Ranch, conventional residential parcels refer to those areas of the community that are envisioned to have a suburban development pattern. Neighborhood design is typically comprised of larger lots with curvilinear streets that follow site topography and natural features, which provide for detached homes with greater setbacks and larger yards than homes in the TC district. To this end, the permitted uses and development standards for conventional residential parcels are tailored to permit this style of development. The permitted uses and development standards in this subsection apply to the conventional residential parcels shown on Figure 2-1.

PERMITTED USES FOR CONVENTIONAL RESIDENTIAL PARCELS

Table 2-2 outlines the permitted and conditionally-permitted uses for conventional residential parcels. None other than the uses listed in this table are permitted, subject to County review shown for each use, and any applicable standards and provisions in the Specific Plan, Development Standards, and Design Guidelines. The Planning Director shall have the discretion to permit land uses that are not listed if they are consistent with the intent of the Residential designations, pursuant to Section 17.02.050(C) of the Placer County Zoning Ordinance. The Planning Director may also forward questions about equivalent uses directly to the Planning Commission for a determination.

GATED NEIGHBORHOODS

Gated neighborhoods are allowed, but not encouraged, and may be permitted at the County's discretion. To be permitted, gated subdivisions shall ensure that pedestrian connections to public parks and open space areas are maintained. The design and location of the gates shall also allow sufficient circulation for emergency service providers and the ability for vehicles to turn around in front of the gate without conflicting with traffic on adjacent streets. Design guidance for gated neighborhoods is provided in Section 5 of the Placer Ranch Design Guidelines.

TABLE 2-2: CONVENTIONAL RESIDENTIAL PERMITTED USES

| Use | LDR & LDR-A | MDR | HDR |
|--|-----------------------|-----|-----|
| Residential Uses | | | |
| Residential accessory uses (see Section 17.56.180) | C | C | C |
| Single-family dwellings (detached) | C | C | -- |
| Single-family dwellings (attached) | -- | C | C |
| Multi-family dwellings | -- | C | C |
| Residential care homes, 6 or fewer clients | C | C | C |
| Residential care homes, 7 or more clients | -- | MUP | MUP |
| Secondary dwellings (see Section 17.56.020) | C | C | -- |
| Single-room occupancy | C | C | C |
| Home occupations (see Section 17.56.120) | C | C | C |
| Animal raising and keeping | See Section 17.56.050 | | |
| Recreation & Public Assembly Uses | | | |
| Houses of Worship | MUP | MUP | MUP |
| Parks and playgrounds | C | C | C |
| Recreation and fitness centers (Private) ¹ | C | C | C |
| Service Uses | | | |
| Child day care, family care homes | C | C | -- |
| Coffee shops and corner markets | CUP | CUP | CUP |
| Miscellaneous Uses | | | |
| Accessory Uses | C | C | C |
| Antennae, communication facilities | See Section 17.56.060 | | |
| Public utility facilities (unless exempt per California Government Code Section 53091) | MUP | MUP | MUP |
| Temporary uses (model homes, sales office) | C | C | C |

¹ When approved as part of a Small Lot Subdivision Map C = Zoning Clearance; CUP = Conditional Use Permit; MUP = Minor Use Permit; -- = Not Permitted

DEVELOPMENT STANDARDS

For conventional residential areas, development standards are provided in Table 2-3 that are specific to each of the PRSP's residential land use types. All buildings, structures, and accessory structures (pools and associated equipment, gazebos, storage sheds less than 120 sq. ft., outdoor kitchens, etc.) shall conform to these standards unless otherwise noted.

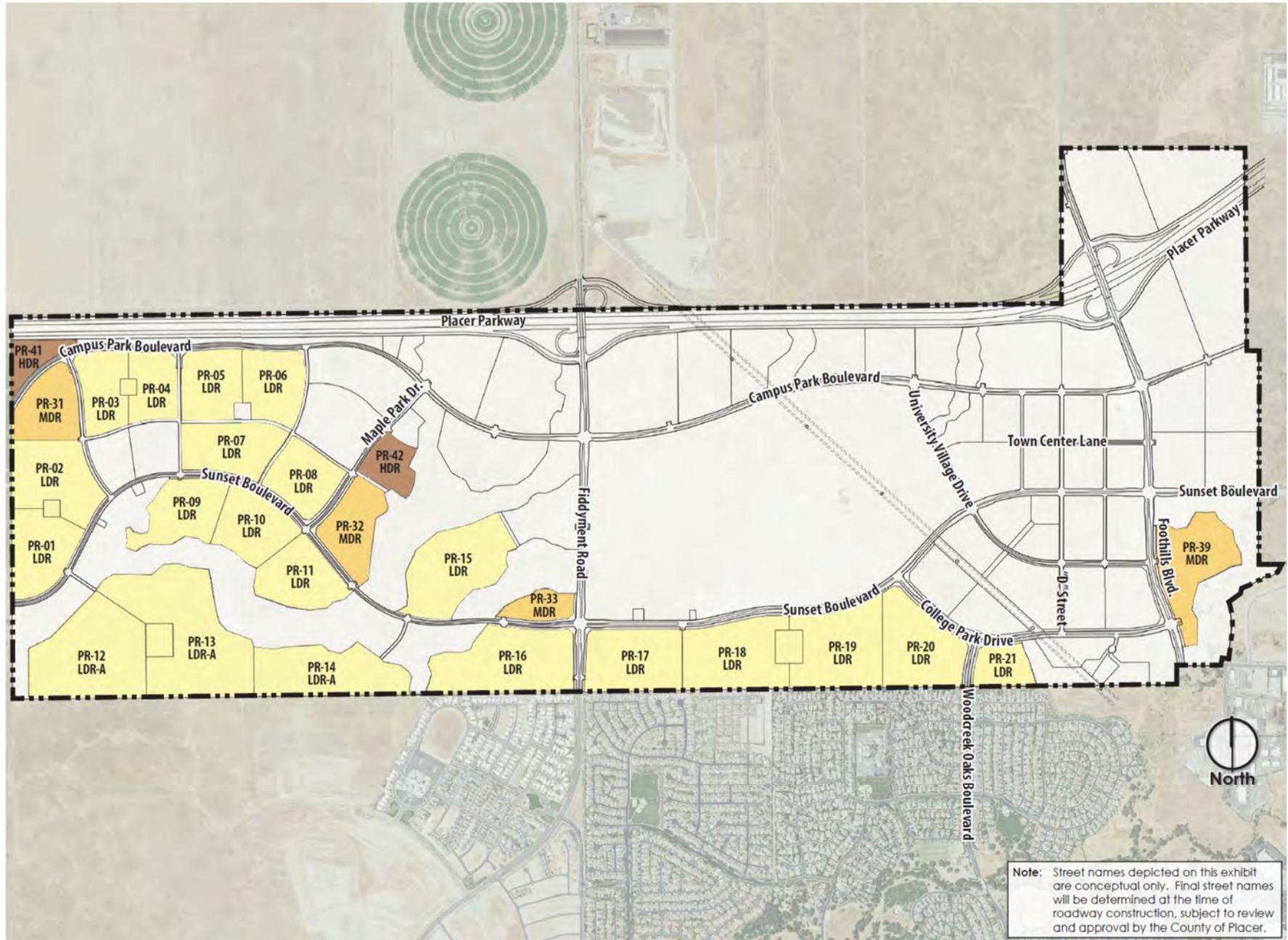


FIGURE 2-1: CONVENTIONAL RESIDENTIAL PARCELS

02 residential standards

TABLE 2-3: CONVENTIONAL RESIDENTIAL DEVELOPMENT STANDARDS

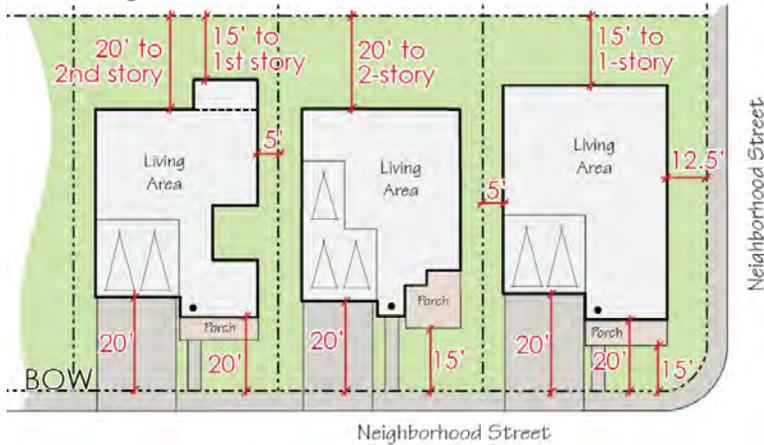
| | LDR | LDR-A | MDR | HDR |
|--|-------------|-------------|-------------|---------------------|
| Lot Size and Building Intensity | | | | |
| Lot Area (minimum) | 4,500 sf | 4,250 sf | 3,000 sf | n/a |
| Site Coverage (maximum) | 50% | 55% | 60% | n/a |
| Width, Interior Lot (minimum) ¹ | 45' | 45' | 35' | n/a |
| Width, Corner Lot (minimum) | 55' | 55' | 45' | n/a |
| Front Setback ² | | | | |
| To living area | 20' | 15' | 15' | 50' |
| To porch (see Section 17.04.030) or ground-level patio | 15' | 15' | 12.5' | 45' |
| To garage door (facing primary street) | 20' | 20' | 20' | n/a |
| To street-facing wall of side-loaded garage | 15' | 15' | n/a | n/a |
| Side Setback ² | | | | |
| Interior side | 5' | 4' | 4' | 20' ³ |
| Street side to living area on corner lot | 12.5' | 12.5' | 12.5' | 50' |
| To porch (see Section 17.04.030) or ground-level patio (facing street) | 12.5' | 12.5' | 12.5' | 45' |
| To accessory structure (interior lot) | 5' | 5' | 5' | n/a |
| To accessory structure (facing street) | 12.5' | 12.5' | 12.5' | 50' |
| Rear Setback | | | | |
| To living area: 1 st floor | 15' | 15' | 10' | 20' ³ |
| 2 nd floor & above | 20' | 15' | 15' | 20' ³ |
| To accessory structure | 5' | 5' | 5' | 10' ³ |
| Building Height | | | | |
| Height (maximum) | 35' | 35' | 35' | 40' |
| Building Projections (permitted encroachment into required yards) | | | | |
| Fireplaces and bay windows | 2' | 2' | 2' | None |
| Other non-habitable architectural features | 2' | 2' | 2' | None |
| Parking Spaces (minimum) | | | | |
| Resident | 2 in garage | 2 in garage | 2 in garage | Varies ⁵ |
| Guest ⁴ | 2 | 2 | 2 | Varies ⁵ |

Table Notes:

1. Lot width measured at front setback line for living area.
2. Setbacks are expressed as minimum requirements and are typically measured from property line. Along street frontages, LDR and MDR setbacks measured from back of sidewalk or from back of curb where no sidewalk exists. For MDR, garage setbacks may be reduced to 18' for small-lot housing types where a subdivision's typical lot size is 4,000 sq. ft. or less. For HDR along street frontages, setbacks measured from back of curb regardless of sidewalk location. In no cases shall a building be located in a MPE.
3. For HDR buildings, side (interior) and rear setbacks are measured as the minimum distance between building facades. Ground-level patios are exempt from this requirement provided that adequate emergency access is provided along building edges. Dwelling units shall maintain a minimum 50' setback from the edge of the Placer Parkway corridor.
4. The number of guest parking spaces listed is required of each dwelling unit, which may be provided on a driveway apron. On-street parking that is located adjacent to a specific plan parcel, or on the parcel's interior, may be counted towards meeting the off-street guest parking requirement.
5. HDR developments shall provide one covered, off-street parking space for each unit regardless of size, plus one additional off-street parking space for units with two bedrooms or more. In addition, one guest parking space shall be provided for every four units in a HDR complex, rounded upward to the nearest whole number.



LDR Setback Diagram



LDR-A Setback Diagram



FIGURE 2-2: CONVENTIONAL LDR SETBACK MEASUREMENTS



FIGURE 2-3: CONVENTIONAL MDR SETBACK MEASUREMENTS

02 residential standards



D. Town Center Residential Permitted Uses & Development Standards

OVERVIEW

The Town Center district is envisioned as an urban place, where mixed-use buildings have a development pattern akin to a small town setting. As such, development standards for residential parcels within the TC are tailored to permit this style of development. Unlike the “conventional” development pattern outlined previously in this section, the Town Center’s residential areas are characterized by more compact and dense building forms, with single-family homes, townhouses, and multi-level apartment buildings aligned along key street edges. Additionally, in some areas, residential parcels are permitted to have commercial uses in order to facilitate creation of a mixed-use environment.

The permitted uses and development standards in this sub-section apply to the Town Center’s residential parcels identified on Figure 2-5.

Working in tandem with these standards, Section 6 of the Placer Ranch Design Guidelines provide design guidance for the Town Center’s urban form and development pattern.

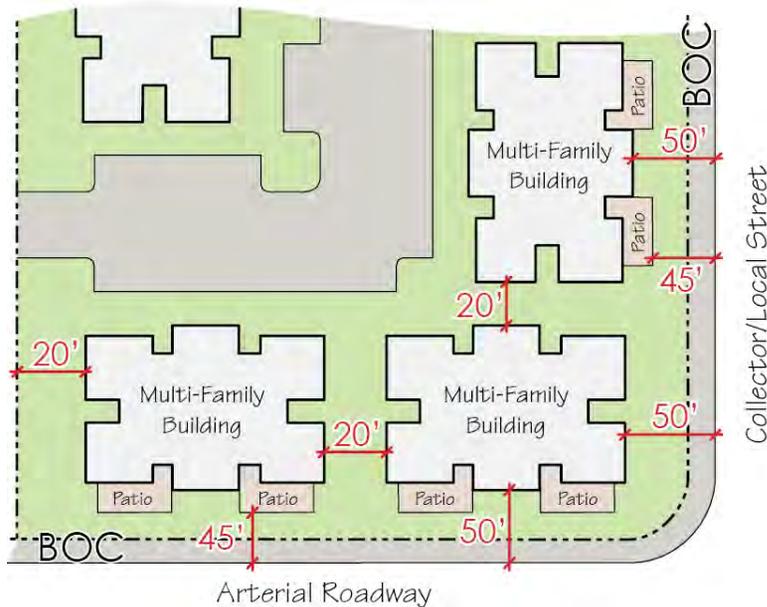


FIGURE 2-4: CONVENTIONAL HDR SETBACK MEASUREMENTS

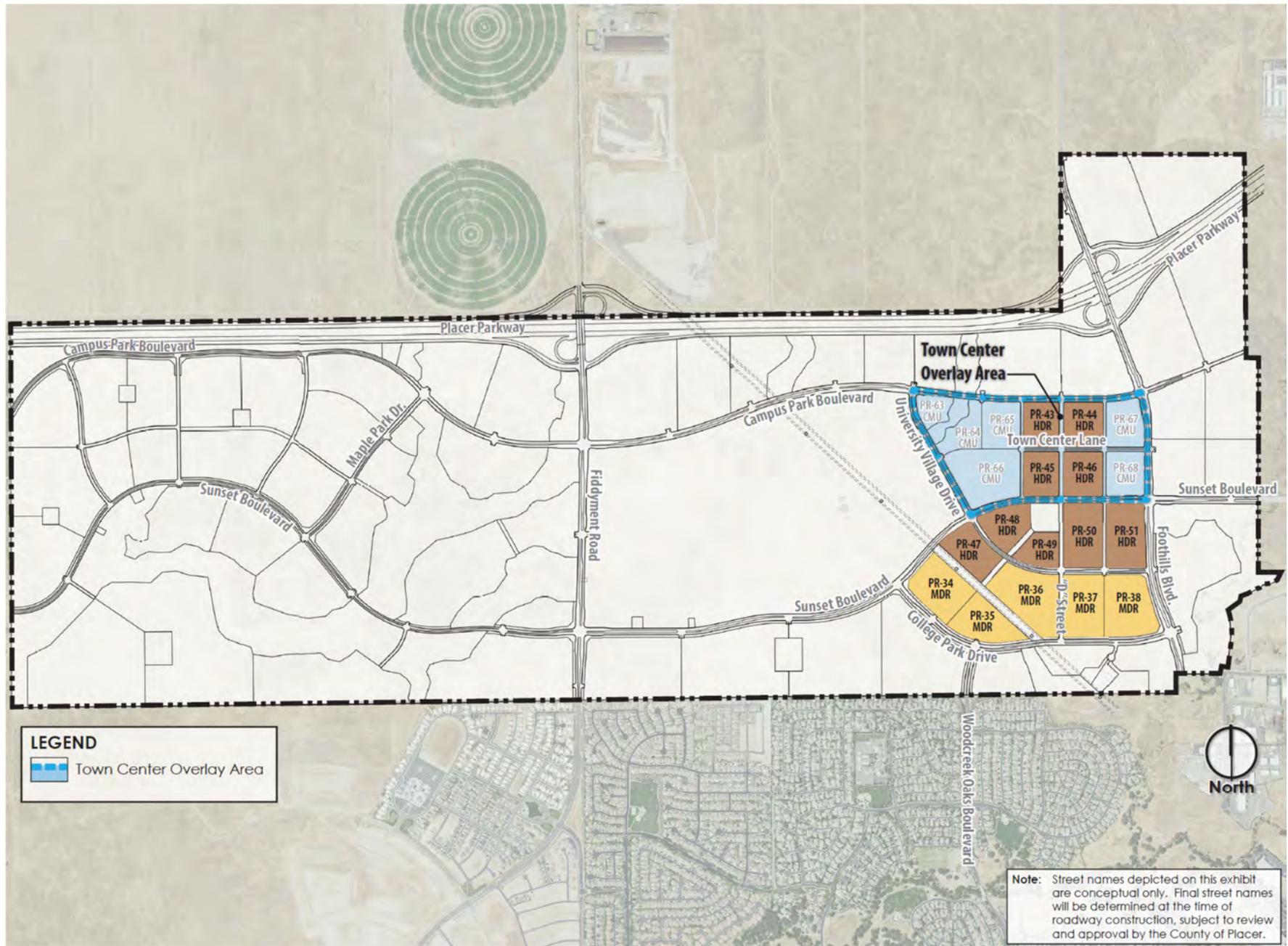


FIGURE 2-5: TOWN CENTER RESIDENTIAL PARCELS

02 residential standards

TOWN CENTER OVERLAY

Within the Town Center, CMU and HDR parcels located north of Sunset Boulevard are intended to develop as the highest-density, mixed-use hub of the district. Town Center Lane is designed to function as the Town Center's "Main Street" with mixed-use buildings oriented to the street along the back edge of wide sidewalks. The intent is that these parcels have a mix of commercial, office, and residential uses, with the primary mixed-use core sited adjacent to the university site, and the neighborhood-serving commercial core sited along Foothills Boulevard. However, a blending of these uses is permitted along the entire extent of Town Center Lane in order to create the envisioned urban environment.

To achieve this intent and provide long-term flexibility for the development of mixed-use projects, the PRDS establishes the Town Center (TC) overlay on the CMU and HDR parcels north of Sunset Boulevard. Parcels with a TC overlay are identified on Figure 2-5.

The following provisions apply to parcels with the TC overlay:

- * The primary mixed-use, commercial core shall be established on the CMU parcels located adjacent to University Village Drive.
- * The neighborhood-serving commercial core shall be established on the CMU parcels located adjacent to Foothills Boulevard.
- * Town Center Lane shall function as the primary street that links the TC's commercial nodes.
- * CMU parcels are permitted to incorporate high-density residential (HDR) uses, with residential units located above active uses, or with residential uses shared on the same parcel with active uses.
- * Active uses shall be prioritized along the first floor of buildings located on Town Center Lane or D Street. Active uses are defined as uses that are generally accessible to the public and generate a high volume of pedestrian or customer traffic. They contribute to a downtown vibrancy and provide direct engagement with the street. Active uses could consist of, but are not limited to, commercial, retail, restaurant, personal services, lobbies, co-working uses, and civic spaces.
- * HDR parcels may incorporate CMU uses, with active uses located on the first floor of residential buildings on Town Center Lane or D Street.
- * All parcels with a TC overlay may be aggregated and redesigned, provided that the resulting design is consistent with the standards provided herein and is consistent with the objectives for the TC's urban

form and development pattern outlined in Section 6 of the Placer Ranch Design Guidelines.

- * The non-residential square footage assumptions for the collective CMU parcels (see PRSP Section 4) may be treated as a holding capacity, meaning that non-residential development is permitted on all parcels with a TC overlay, up to the maximum square footage assumed for the Town Center.
- * Floor area ratios (FARs) may exceed the typical FAR outlined in the Land Use section of the PRSP, provided that the total CMU development does not exceed the assumed holding capacity.
- * HDR units may be transferred to CMU parcels from any residential parcel in the Plan Area or from the 150-unit reserve, subject to the unit transfer provisions in Section 10 of the PRSP.
- * For CMU parcels, on-street parking may be counted towards off-street parking requirements.
- * For HDR parcels, on-street parking may be counted towards off-street guest parking requirements.
- * A parking assessment district may be established to accommodate parking needs in the Town Center district.

FORM BASED CODE

Placer County envisions the Town Center as an opportunity for a future form based code. Prior to development commencing in the Town Center, Placer County may elect to prepare a form-based code that further refines the development standards that direct the physical form, design, and development pattern of the Town Center. This would allow for certainty over the physical outcome of land use and development decisions by regulating key aspects of the urban form, such as the height of the buildings, how close structures are to the streets, windows and doors on the walls facing streets, public spaces, and the street itself, so that the street and buildings work together to create a desirable public realm.

The benefits of this would include establishing development standards that specifically address the development pattern and urban form of the district, versus a focus on permitted uses for specific parcels. This approach would allow higher floor area ratios and greater development intensities, and would facilitate creation of a multi-modal mobility system that is enhanced from proximity to adjacent employment centers.

PERMITTED USES IN TOWN CENTER

Table 2-4 outlines the permitted and conditionally-permitted uses for residential parcels in the Town Center district. None other than the uses listed in this table are permitted, subject to County review shown for each use, and any applicable standards and provisions in the Specific Plan, Development Standards, and Design Guidelines. The Planning Director shall have the discretion to permit land uses that are not listed if they are consistent with the intent of the Residential designations, pursuant to Section 17.02.050(C) of the Placer County Zoning Ordinance. The Planning Director may also forward questions about equivalent uses directly to the Planning Commission for a determination.

The permitted uses in this sub-section apply to the Town Center's residential parcels identified on Figure 2-5.

TABLE 2-4: TOWN CENTER RESIDENTIAL PERMITTED USES

| Use | MDR | HDR |
|---|-----|------------------|
| Residential Uses | | |
| Residential accessory uses (see Section 17.56.180) | C | C |
| Single-family dwellings (detached) | C | -- |
| Single-family dwellings (attached) | C | C |
| Multi-family dwellings | C | C |
| Residential care homes, 6 or fewer clients | MUP | -- |
| Residential care homes, 7 or more clients | MUP | -- |
| Secondary dwellings (see Section 17.56.020) | C | -- |
| Single-room occupancy | C | C |
| Home occupations (see Section 17.56.120) | C | C |
| Animal raising and keeping | -- | -- |
| Recreation & Public Assembly Uses | | |
| Houses of Worship | MUP | -- |
| Parks and playgrounds | C | C |
| Recreation and fitness centers (private) ² | C | C |
| Retail Trade | | |
| Grocery and liquor stores | -- | C ¹ |
| Outdoor retail sales | -- | MUP ¹ |
| Restaurants and bars | -- | C ¹ |

| Use | MDR | HDR |
|--|-----------------------|----------------|
| Restaurants, fast food | -- | C ¹ |
| Retails stores, general merchandise | -- | C ¹ |
| Service Uses | | |
| Child day care, family care homes | C | -- |
| Personal Services | -- | C ¹ |
| Miscellaneous Uses | | |
| Accessory Uses | | |
| Antennae, communication facilities | See Section 17.56.060 | |
| Public utility facilities (unless exempt per California Government Code Section 53091) | MUP | MUP |
| Temporary uses (model homes, sales office) | C | C |

C = Zoning Clearance; CUP = Conditional Use Permit; MUP = Minor Use Permit; -- = Not Permitted

- 1 Identifies a use that is permitted on the first floor of HDR parcels with a TC overlay
- 2 When approved as part of a Small Lot Subdivision Map

DEVELOPMENT STANDARDS IN TOWN CENTER

Table 2-5 outlines the development standards for residential parcels in the Town Center, which are comprised standards that direct an urban form of development for MDR and HDR uses. All buildings, structures, and accessory structures (pools and associated equipment, gazebos, storage sheds less than 120 sq. ft., outdoor kitchens, etc.) shall conform to these standards unless otherwise noted.

The development standards in this sub-section apply to the Town Center's residential parcels identified on Figure 2-5.

02 residential standards

TABLE 2-5: TOWN CENTER RESIDENTIAL DEVELOPMENT STANDARDS

| | MDR (detached) | MDR (attached) ⁸ | HDR (attached) ⁸ |
|--|-------------------|--------------------------------|--------------------------------|
| Lot Size and Building Intensity | | | |
| Lot Area (minimum) | 2,500 sf | n/a | n/a |
| Site Coverage (maximum) | 60% | n/a | n/a |
| Width, Interior Lot (minimum) ¹ | 30' | n/a' | n/a |
| Width, Corner Lot (minimum) | 40' | n/a | n/a |
| Front Setback² | | | |
| To building edge: Typical | 10' | 10' | 25' |
| from Town Center Lane ⁶ | n/a | n/a | 15' |
| from D Street ⁶ | 10' | 10' | 15' |
| To porch, ground-level patio, or balcony ⁷ | 5' | 5' | 20' |
| To garage door (facing primary street) | 20' | 20' | n/a |
| To street-facing wall of side-loaded garage | n/a | n/a | n/a |
| Side Setback² | | | |
| Interior side | 4' | 0' | 20' ³ |
| Street side to building edge on corner lot | 10' | 10' | 25' |
| To porch, ground-level patio, or balcony ⁷ | 5' | 5' | 5' |
| To accessory structure (interior lot) | 5' | 5' | n/a |
| To accessory structure (facing street) | 20' | 20' | 30' |
| Rear Setback | | | |
| To building edge: 1 st floor | 10' | 10' | 20' ³ |
| 2 nd floor & above | 10' | 10' | 20' ³ |
| To accessory structure | 5' | 5' | 10' ³ |
| Building Height | | | |
| Height (maximum) | 40' | 40' | 50' |
| Building Projections (permitted encroachment into required yards) | | | |
| Fireplaces and bay windows | 1' | 1' | None |
| Other non-habitable architectural features | 1' | 1' | None |
| Parking Spaces (minimum) | | | |
| Resident | 2 in garage | 2 in garage | Varies ⁵ |
| Guest ⁴ | 2 | 2 | Varies ⁵ |

Table Notes:

1. Lot width measured at front setback line for living area.
2. Setbacks are expressed as minimum requirements and are typically measured from property line. Along street frontages, LDR and MDR setbacks measured from back of sidewalk or from back of curb where no sidewalk exists. For MDR, garage setbacks may be reduced to 18' for small-lot housing types where a subdivision's typical lot size is 4,000 sq. ft. or less. For HDR along street frontages, setbacks measured from back of curb regardless of sidewalk location. In no cases shall a building be located in a MPE.
3. For HDR buildings, side (interior) and rear setbacks are measured as the minimum distance between building facades. Ground-level patios are exempt from this requirement provided that adequate emergency access is provided along building edges.
4. The number of guest parking spaces listed is required of each dwelling unit, which may be provided on a driveway apron. On-street parking that is located adjacent to a specific plan parcel, or on the parcel's interior, may be counted towards meeting the off-street guest parking requirement.
5. HDR developments shall provide one covered, off-street parking space for each unit regardless of size, plus one additional off-street parking space for units with two bedrooms or more. In addition, one guest parking space shall be provided for every four units in a HDR complex, rounded upward to the nearest whole number.
6. Street-facing balconies may encroach up to 5' into setback area provided that no building elements are located in a MPE.
7. Additional requirements for porches are outlined in Section 17.04.030.
8. A Design Review Permit (DRP) is required for attached MDR and HDR housing types. The DRP may permit deviations to these standards to accommodate housing-specific site plans, lotting layouts, and/or setbacks, subject to County review and approval.



FIGURE 2-6: MDR SETBACK MEASUREMENTS IN TOWN CENTER

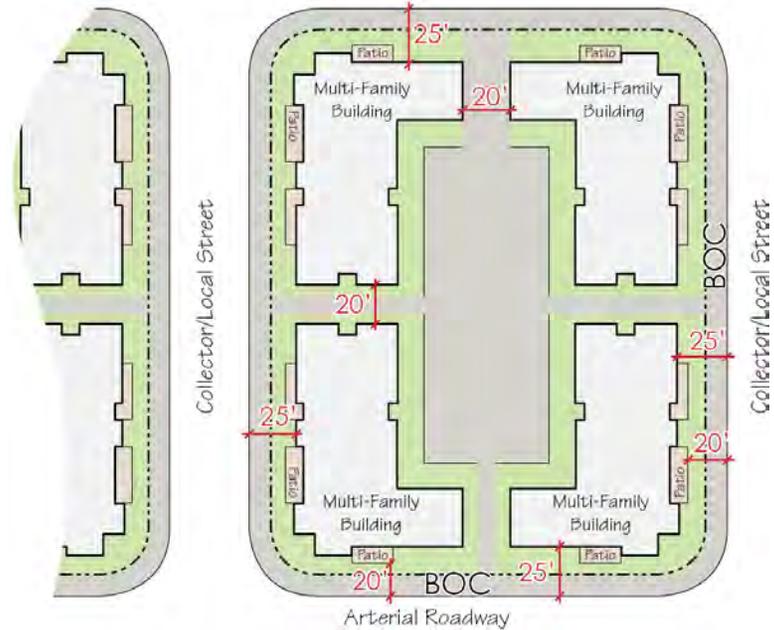


FIGURE 2-7: HDR SETBACK MEASUREMENTS IN TOWN CENTER

02 residential standards

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PLACER Ranch

Section 03

COMMERCIAL STANDARDS

COUNTY
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03 commercial standards

- A. Overview
- B. Commercial Use Designations
- C. Permitted Uses
- D. General Commercial Development Standards
- E. Commercial Mixed Use Development Standards

03 commercial standards

A. Overview

The PRSP includes two commercial land use designations: General Commercial (GC) and Commercial Mixed Use (CMU). This section describes each commercial land use and its associated permitted uses and development standards. These standards shall guide the interpretation of commercial projects that are suggested to function with other standards.

All development projects on GC and CMU parcels must obtain Design Review approval prior to construction, as outlined in Sections 17.52.070(D), (E), & (F) of the Placer County Code. The commercial parcels subject to the permitted uses and development standards in this section are identified on Figure 3-1.

B. Commercial Use Designations

The PRSP includes two commercial designations:

- **General Commercial:** This designation allows for the development of retail, personal service, entertainment, office, and related commercial uses. Parcels with this designation can accommodate large-scale commercial centers, conventional neighborhood shopping centers, and mixed use commercial/ office developments. In general, the types of uses envisioned for GC parcels include grocery stores, drug stores, gas stations, dining establishments, and other local service-type uses. Additionally, neighborhood-serving professional uses are also appropriate, which could include uses such as medical offices, veterinarians, child care facilities, and similar uses. For planning purposes, GC parcels are assumed to develop with a floor area ratio (FAR) of 0.3, although FAR's up to 0.75 can be accommodated.
- **Commercial Mixed Use:** This designation is applied to commercial parcels in the Town Center (TC) district and allows for a mix of non-residential and HDR uses, which can be mixed vertically or horizontally on a parcel or within a building. This includes a mixture of retail, service, restaurant, office, medical, entertainment, hotel, or similar uses, plus multi-family housing in a mixed-use format. Development is assumed at a mix of 75% commercial uses and 25% office uses, but this mix may be adjusted on a project-specific basis.

As noted in Section 4 of the PRSP, the non-residential square footage assumptions for CMU parcels is derived from an average floor area ratio (FAR) for all CMU parcels. This is intended only to generate a

cumulative holding capacity for the Town Center's non-residential development and should not be treated as a square footage "ceiling" for any CMU parcel. As such, CMU parcels are assumed to develop with a floor area ratio (FAR) of 0.3, although FAR's up to 1.0 can be accommodated. Each parcel's actual development may generate more or less square footage than noted, provided that it is consistent with the regulations in this section.

As noted previously, CMU parcels may incorporate a residential component as an ancillary use to a commercial/ office project. Although no dwelling units are specifically allocated to any CMU parcels, units may be transferred to CMU sites from the pool of 150 reserve units or from other HDR parcels in the PRSP.



While multiple commercial designations are included in the PRSP, all commercial uses have a single zoning designation, SPL-PRSP, as noted in Table 3-1. The purpose of this zoning designation is to defer development regulations to the Placer Ranch Development Standards (PRDS) instead of the County's Zoning Ordinance.

TABLE 3-1: COMMERCIAL DESIGNATIONS & ZONING

| Key | Specific Plan Designation | Zoning District |
|------------|---------------------------|-----------------|
| GC | General Commercial | SPL-PRSP |
| CMU | Commercial Mixed Use | SPL-PRSP |

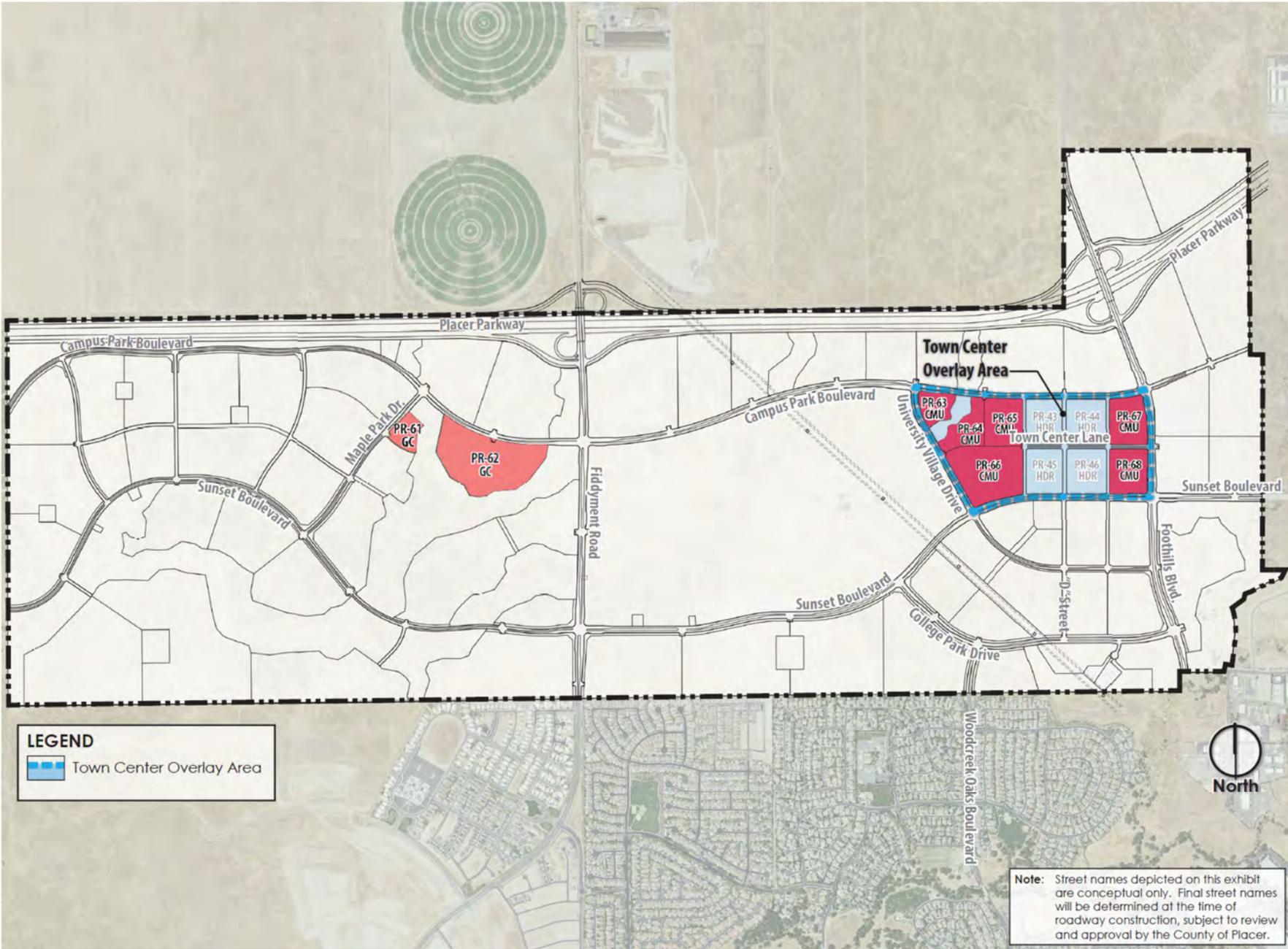


FIGURE 3-1: COMMERCIAL PARCELS

C. Permitted Uses

Table 3-2 outlines the permitted uses for GC and CMU parcels. None other than the uses listed in this table are permitted, subject to County review shown for each use, and any applicable standards and provisions in the Specific Plan, Development Standards, and Design Guidelines. The Planning Director shall have the discretion to permit land uses that are not listed if they are consistent with the intent of the commercial designations, pursuant to Section 17.02.050 of the Placer County Zoning Ordinance. The Planning Director may also forward questions about equivalent uses directly to the Planning Commission for a determination.

TABLE 3-2: COMMERCIAL PERMITTED USES

| Use | GC | CMU |
|---|-----------------------|-----|
| Recreation, Education & Public Assembly Uses | | |
| Community center | CUP | CUP |
| Commercial event center | CUP | CUP |
| Houses of worship | -- | MUP |
| Libraries and museums | C | C |
| Membership organization facilities | C | C |
| Outdoor commercial recreation | CUP | -- |
| Parks and playgrounds | C | C |
| Recreation and fitness centers | C | C |
| Schools – Specialized education and training | C | C |
| Temporary events | See Section 17.56.300 | |
| Theaters and meeting halls | CUP | C |
| Residential Uses | | |
| Caretaker and employee housing (See Section 17.56.090) | C | C |
| Home occupations (See Section 17.56.120) | C | C |
| Multi-family dwellings | -- | C |
| Residential accessory uses | -- | -- |
| Senior housing projects | -- | C |
| Retail Trade | | |
| Building material stores | C | -- |
| Drive-in and drive-thru sales | C | -- |
| Furniture, furnishings, & equip. stores | C | C |
| Grocery and liquor stores | C | C |
| Outdoor retail sales | MUP | MUP |

| Use | GC | CMU |
|---|-----------------------|------------------|
| Restaurants and bars | C | C |
| Restaurants, fast food | C | C |
| Retail stores, general merchandise | C | C |
| Secondhand stores | C | C |
| Shopping centers, any size | C | C |
| Service Uses | | |
| Banks and financial services | C | C |
| Business support services | C | C |
| Child/adult day care, centers | C | MUP |
| Drive-in and drive-thru services | C | MUP ¹ |
| Laundries and dry cleaning plants | C | C |
| Medical services – Clinics and labs | C | MUP |
| Medical services – Hospitals and extended care | CUP | CUP |
| Medical services – Veterinary clinics and hospitals | MUP | MUP |
| Offices | C | C |
| Office, temporary | C | C |
| Personal services | C | C |
| Public safety facilities (fire station, Sheriff substation) | C | C |
| Public utility facilities | C | C |
| Repair and maintenance – Consumer products | C | C |
| Repair and maintenance – Vehicles | MUP | -- |
| Service stations | C | CUP |
| Storage, accessory (including parking garages) | C | MUP |
| Transient Lodging | | |
| Hotels and motels | MUP | C |
| Bed and breakfast | -- | MUP |
| Transportation & Communications | | |
| Antennas, communication facilities | See Section 17.56.060 | |
| Broadcasting studios | MUP | C |
| Transit stations and terminals | C | C |

¹ Use conditionally permitted on parcels PR-67 & PR-68 only

C = Zoning Clearance; CUP = Conditional Use Permit; MUP = Minor Use Permit; -- = Not Permitted

NOTE: Where a Zoning Clearance is required for a proposed use that includes outdoor activities, which is located within the WRSL's Minimum Public Facility Buffer Limit, as defined in the SAP, an Administrative Review Permit, or other use permit as noted in the table above, shall be required.

D. General Commercial Development Standards

Development standards for General Commercial parcels are provided in Table 3-3. All buildings, structures, and accessory structures shall conform to these standards unless otherwise noted.

TABLE 3-3: GC DEVELOPMENT STANDARDS

| Development Feature | Standard |
|------------------------------|--|
| Parcel Size | No minimum lot area or lot width required |
| Setbacks | |
| Front/Primary Street: | - 0' min. from MPE |
| Side: | - 15' min. from property line |
| Rear: | - 15' min. from property line |
| Interior Separation: | - 20' min. between buildings |
| Building Placement | N/A |
| Site Coverage | 75% max. |
| Height | 50' max. |
| Parking | As required by Section 17.54.050, -060, and -070 of Placer County Code |



E. Commercial Mixed Use Development Standards

OVERVIEW

The Town Center district is envisioned as an urban place, where mixed-use buildings have a development pattern akin to a small town setting. As such, development standards for Commercial Mixed Use parcels are tailored to permit this style of development. The Town Center's commercial areas are characterized by buildings that are aligned along the back edge of wide, pedestrian-friendly sidewalks, which permits outdoor retail and dining opportunities. As provided for in the list of permitted uses, buildings are allowed to be mixed-use, with retail, office, and/or high-density residential uses mixed vertically in buildings or mixed horizontally on site.

Working in tandem with these standards, PRDG Section 6 provides design guidance for the Town Center's urban form and development pattern. Development standards for Commercial Mixed Use parcels are provided in Table 3-4 and Figure 3-2. All buildings, structures, and accessory structures shall conform to these standards unless otherwise noted.

TOWN CENTER OVERLAY

Within the Town Center, CMU and HDR parcels located north of Sunset Boulevard are intended to develop as the highest-density, mixed-use hub of the district. Town Center Lane is designed to function as the Town Center's "Main Street" with mixed-use buildings oriented to the street along the back edge of wide sidewalks. The intent is that these parcels have a mix of commercial, office, and residential uses, with the primary mixed-use core sited adjacent to the university site, and the neighborhood-serving commercial core sited along Foothills Boulevard. However, a blending of these uses is permitted along the entire extent of Town Center Lane in order to create the envisioned urban environment.

To achieve this intent and provide long-term flexibility for the development of mixed-use projects, the PRDS establishes the Town Center (TC) overlay to the CMU and HDR parcels north of Sunset Boulevard. Parcels with a TC overlay are identified on Figure 3-1.

The following provisions apply to parcels with the TC overlay:

- * The primary mixed-use, commercial core shall be established on the CMU parcels located adjacent to University Village Drive.

03 commercial standards

- * The neighborhood-serving commercial core shall be established on the CMU parcels located adjacent to Foothills Boulevard.
- * Town Center Lane shall function as the primary street that links the TC's commercial nodes.
- * CMU parcels are permitted to incorporate high-density residential (HDR) uses, with residential units located above active uses, or with residential uses shared on the same parcel with active uses.
- * Active uses shall be prioritized along the first floor of buildings located on Town Center Lane or D Street. Active uses are defined as uses that are generally accessible to the public and generate a high volume of pedestrian or customer traffic. They contribute to a downtown vibrancy and provide direct engagement with the street. Active uses could consist of, but are not limited to, commercial, retail, restaurant, personal services, lobbies, co-working uses, and civic spaces.
- * HDR parcels may incorporate CMU uses, with active uses located on the first floor of residential buildings on Town Center Lane or D Street.
- * All parcels with a TC overlay may be aggregated and redesigned, provided that the resulting design is consistent with the standards provided herein and is consistent with the objectives for the TC's urban form and development pattern outlined in Section 6 of the Placer Ranch Design Guidelines.
- * The non-residential square footage assumptions for the collective CMU parcels (see PRSP Section 4) may be treated as a holding capacity, meaning that non-residential development is permitted on all parcels with a TC overlay, up to the maximum square footage assumed for the Town Center.
- * Floor area ratios (FARs) may exceed the typical FAR outlined in the Land Use section of the PRSP, provided that the total CMU development does not exceed the assumed holding capacity.
- * HDR units may be transferred to CMU parcels from any residential parcel in the Plan Area or from the 150-unit reserve, subject to the unit transfer provisions in Section 10 of the PRSP.
- * For CMU parcels, on-street parking may be counted towards off-street parking requirements.
- * For HDR parcels, on-street parking may be counted towards off-street guest parking requirements.
- * A parking assessment district may be established to accommodate parking needs in the Town Center district.



FORM BASED CODE

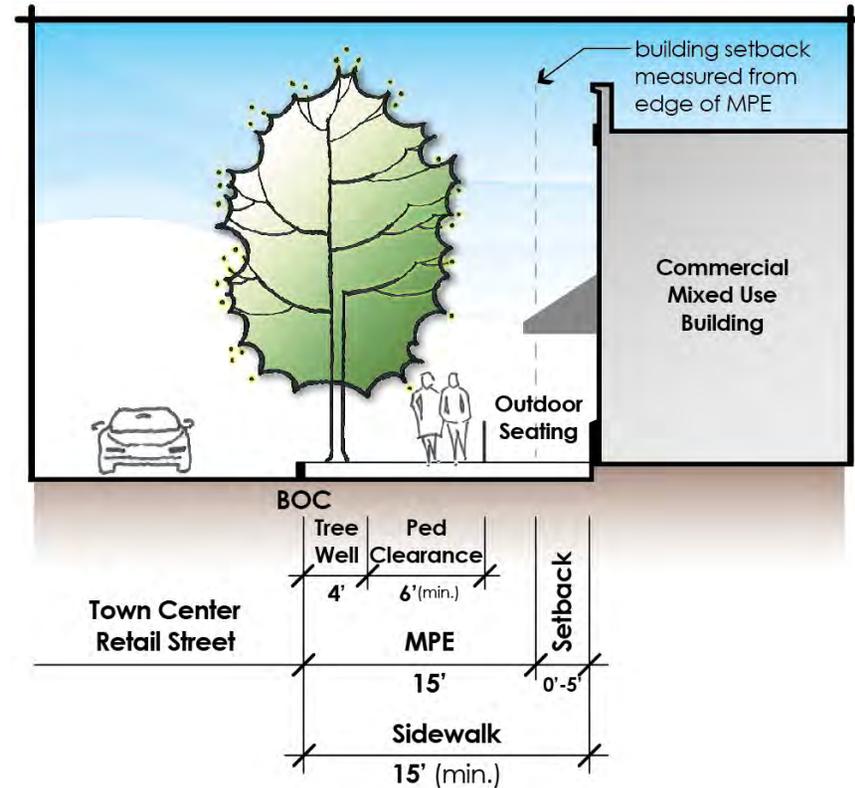
Placer County envisions the Town Center as an opportunity for a future form based code. Prior to development commencing in the TC, Placer County may elect to prepare a form-based code that further refines the development standards that direct the physical form, design, and development pattern of the Town Center. This would allow for certainty over the physical outcome of land use and development decisions by regulating key aspects of the urban form, such as the height of the buildings, how close structures are to the streets, windows and doors on the walls facing streets, public spaces, and the street itself, so that the street and buildings work together to create a desirable public realm.

The benefits of this would include establishing development standards that specifically address the development pattern and urban form of the district, versus a focus on permitted uses for specific parcels. This approach would allow higher floor area ratios and greater development intensities, and would facilitate creation of a multi-modal mobility system that is enhanced from proximity to adjacent employment centers.

TABLE 3-4: CMU DEVELOPMENT STANDARDS

| Development Feature | Standard |
|------------------------------------|---|
| Parcel Size | No minimum lot area or lot width required |
| Setbacks ^{1, 2, 3} | |
| Street Frontages | - 0' min./5' max. from edge of MPE |
| Building Separation | - 0' where buildings adjoin other buildings - 10' min for pedestrian passage ways |
| Encroachments | - 2.5' max. into MPE for awnings and outdoor seating |
| Sidewalks ³ | - 15'-wide min. - 20'-wide min. where outdoor seating is provided - 6'-wide min. clearance for pedestrians |
| Building Placement | Refer to Placer Ranch Design Guidelines |
| Site Coverage | No maximum |
| Height | 60' max., except that towers, cupolas, decorative roof forms, and/or similar architectural building features are permitted up to 20% higher |
| Parking | - In the Town Center, all on-street parking provided may be counted in the calculation of parking requirements for all land uses. Calculation of on-street parking includes all parallel parking and diagonal parking along parcel boundaries. - Other requirements outlined in Section 17.54.050, -060, and -070 of Placer County Code. |

- 1 At least 70% of a commercial street frontage shall be occupied by a building with the façade placed at the back edge of sidewalk.
- 2 Building facades along street frontages shall incorporate varied setbacks from the edge of MPE, at both the ground level and upper floors, to diversify the façade plane and create spaces for outdoor seating/dining/retail display.
- 3 Café seating on the sidewalk is encouraged, but should allow for a minimum 6' wide sidewalk clearance for pedestrian traffic, and conflicts with utilities in MPE are not allowed. Building setbacks greater than 0' are permitted to allow for additional space for café seating, if desired.



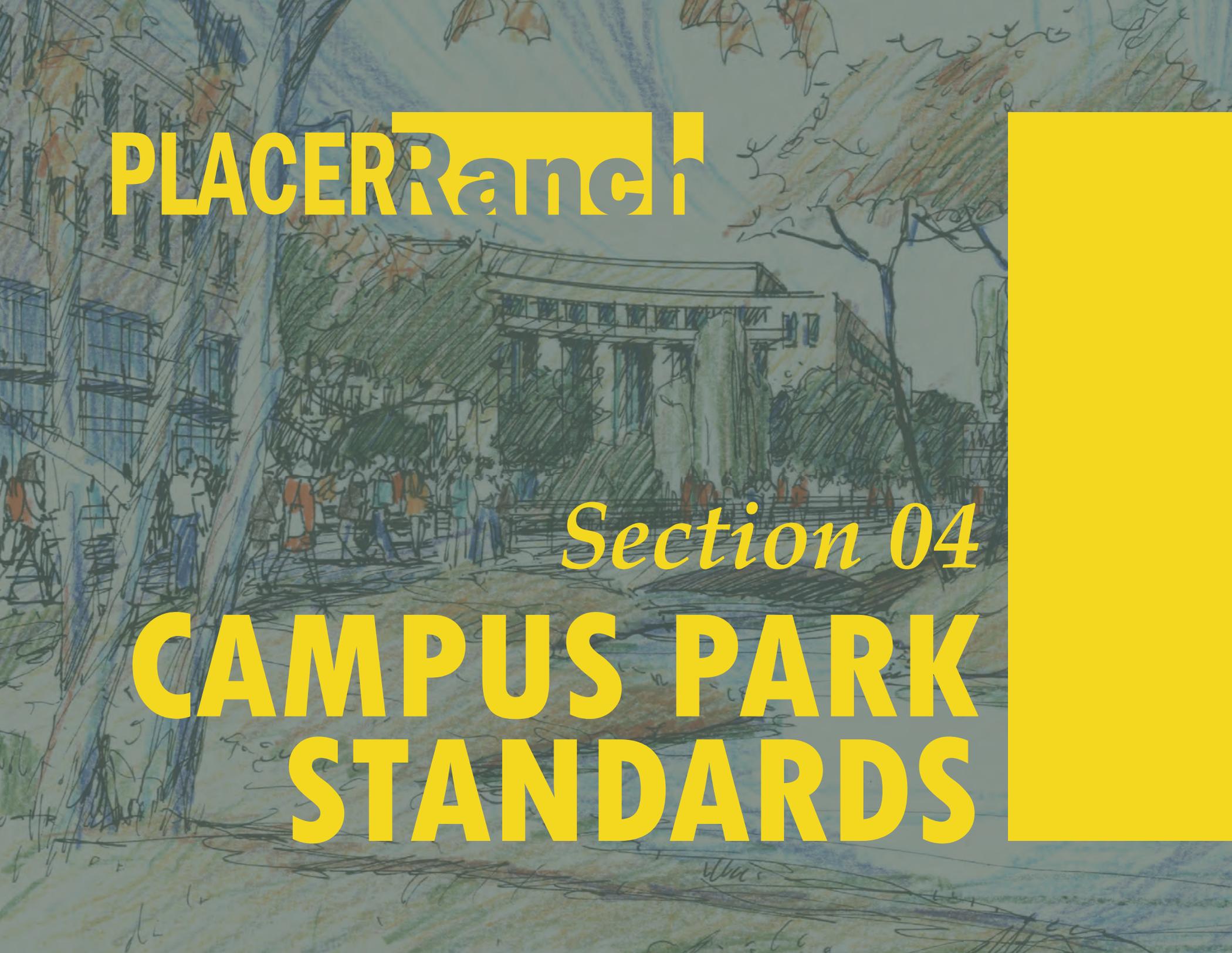
Notes:

- 1 This café seating diagram is intended to show how outdoor seating can be accommodated along streets in the Town Center. Building setbacks may vary between 0' to 5' as measured from the MPE edge, allowing sidewalks to be wider than the 15'-wide minimum requirement to accommodate outdoor seating areas.
- 2 Outdoor seating areas may encroach into the MPE by 2.5' provided that a minimum 6'-wide clear path of travel for pedestrians is maintained at all times.
- 3 The preliminary purpose of the multi-purpose easement is for utility service providers to use as needed. Fixed objects such as fencing or poses may require future relocation at the property owner's expense if in conflict with the easement.

FIGURE 3-2: CAFÉ SEATING

03 commercial standards

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PLACER Ranch

Section 04

**CAMPUS PARK
STANDARDS**

COUNTY
OF

Placer



Placer Ranch

04 campus park standards

- A. Overview
- B. Campus Park Use Designations
- C. Permitted Uses
- D. Development Standards

04 campus park standards

A. Overview

The Campus Park (CP) uses are intended to create a major job center, catalyzed by proximity to the university campus. Collectively, the Campus Park includes a mixture of office, research and development, retail/commercial, light industrial, and warehousing uses.

Zoning for all CP parcels is SPL-PRSP. The purpose of this zoning designation is to defer development regulations to the PRSP Development Standards instead of the County's Zoning Ordinance.

All development projects on Campus Park parcels must obtain Design Review approval prior to construction, as outlined in Sections 17.52.070(D), (E), & (F) of the Placer County Code. The CP parcels subject to the permitted uses and development standards in this section are identified on Figure 4-1.

B. Campus Park Use Designations

The CP designation allows for a variety of uses, which are refined through the establishment of various "districts" within the Campus Park area. The intent is to direct land uses geographically to ensure that community buildout achieves the desired vision. These districts are briefly described below and are identified on Figure 4-1.

→ **Parkway District (CP-PW):** This district is located at the crossroads of Placer Parkway and Foothills Boulevard and uses emphasize highway commercial, R&D, and office/corporate campus uses. Permitted uses are to be compatible with uses planned in the adjacent Sunset Area while not competing with planned uses in the Town Center.



→ **Town Center District (CP-TC):** This district is located adjacent to the Town Center and permitted uses emphasize R&D, office/corporate campus, recreation club, community assembly. Limited commercial uses are permitted provided that they do not compete with planned uses in the Town Center.



→ **Fiddymt District (CP-FD):** This district is located at the crossroads of Placer Parkway and Fiddymt Road and permitted uses emphasize general commercial, with supporting office, restaurant, financial, and service uses that complement the planned uses in the Town Center.



→ **Innovation District (CP-IV):** This district is comprised of parcels located adjacent to the University and permitted uses emphasize R&D, technology, innovation, and office.



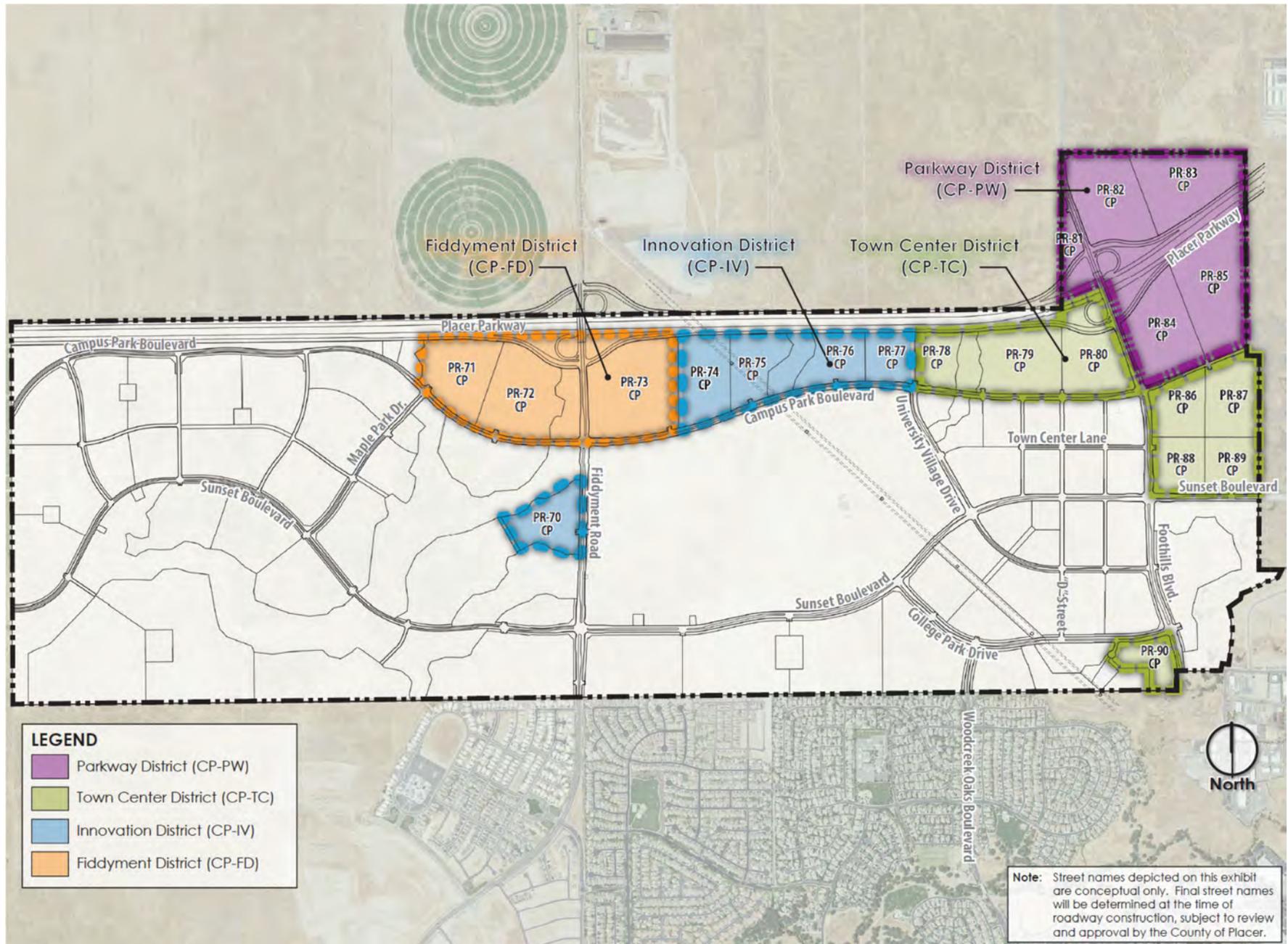


FIGURE 4-1: CAMPUS PARK DISTRICTS

04 campus park standards

C. Permitted Uses

Table 4-1 outlines the permitted and conditionally-permitted uses for all CP parcels, which are refined by the district in which each parcel is located (see Figure 4-1). None other than the uses listed in this table are permitted, subject to County review shown for each use, and any applicable standards and provisions in the Specific Plan, Development Standards, and Design Guidelines. The Planning Director shall have the discretion to permit land uses that are not listed if they are consistent with the intent of the Campus Park land use, pursuant to Section 17.02.050 of the Placer County Zoning Ordinance. The Planning Director may also forward questions about equivalent uses directly to the Planning Commission for a determination.

TABLE 4-1: CAMPUS PARK PERMITTED USES (BY DISTRICT)

| Use | CP-PW | CP-TC | CP-IV | CP-FD |
|--|-----------------------|-------|-------|-------|
| Agricultural, Resource and Open Space | | | | |
| Plant nurseries, retail | -- | -- | -- | MUP |
| Manufacturing and Processing | | | | |
| Clothing products | C | C | -- | -- |
| Electrical and electronic equipment, instruments | C | C | C | -- |
| Food products | MUP | MUP | -- | -- |
| Furniture and fixtures manufacturing | C | C | -- | -- |
| Glass products | MUP | MUP | -- | -- |
| Machinery manufacturing | CUP | CUP | -- | -- |
| Metal products fabrication | MUP | MUP | -- | -- |
| Motor vehicles and transportation equipment | CUP | CUP | -- | -- |
| Plastics and rubber products | CUP | CUP | -- | -- |
| Printing and publishing | C | C | -- | -- |
| Small-scale manufacturing | C | MUP | C | -- |
| Recycling collection stations/ Recycling Facility | See Section 17.56.170 | | | |
| Stone and cut stone products | MUP | MUP | -- | -- |
| Textile and leather products | C | C | -- | -- |
| Weapons manufacturing | CUP | CUP | -- | -- |
| Recreation, Education & Public Assembly | | | | |
| Commercial event center (17.56.340) | -- | CUP | CUP | -- |
| Golf driving ranges | MUP | MUP | -- | -- |

| Use | CP-PW | CP-TC | CP-IV | CP-FD |
|--|-----------------------|-------|-------|-------|
| Houses of worship | MUP | MUP | -- | MUP |
| Membership organization facilities | -- | MUP | -- | -- |
| Outdoor commercial recreation | CUP | -- | CUP | -- |
| Parks, playgrounds, golf courses | MUP | MUP | MUP | MUP |
| Recreation and fitness centers | C | C | -- | -- |
| Schools - College and university | -- | MUP | C | -- |
| Schools - Specialized education and training | -- | MUP | C | -- |
| Sport facilities and outdoor public assembly | C | CUP | -- | -- |
| Temporary events | See Section 17.56.300 | | | |
| Theaters and meeting halls | -- | MUP | -- | -- |
| Residential | | | | |
| Caretaker and employee housing (17.56.090) | C | C | C | C |
| Senior housing projects (17.56.210) | -- | CUP | -- | -- |
| Retail Trade | | | | |
| Building material stores | -- | -- | -- | C |
| Drive-in and drive-thru sales | C | MUP | -- | C |
| Farm equipment and supplies sales | -- | -- | -- | MUP |
| Furniture, furnishings and equipment stores | -- | -- | -- | C |
| Grocery and liquor stores | -- | -- | -- | C |
| Mail order and vending | -- | C | C | C |
| Outdoor retail sales (17.56.160) | -- | -- | -- | MUP |
| Restaurants and bars (17.56.190) | C | C | -- | C |
| Restaurants, fast food (17.56.190) | C | MUP | MUP | C |
| Retail stores, general merchandise | -- | -- | -- | C |
| Secondhand stores | -- | -- | -- | C |
| Shopping centers, up to 5 acres | -- | -- | -- | CUP |
| Shopping centers, 5 to 10 acres | -- | -- | -- | CUP |
| Shopping centers, 10 acres or more | -- | -- | -- | CUP |
| Service Uses | | | | |
| Banks and financial services | -- | C | -- | C |
| Business support services | C | C | C | C |
| Child/adult day care, centers | -- | MUP | MUP | C |
| Construction/contractors | C | C | C | -- |
| Drive-in and drive-thru services | MUP | MUP | -- | MUP |

| Use | CP-PW | CP-TC | CP-IV | CP-FD |
|---|-----------------------|-------|-------|-------|
| Kennels and animal boarding | -- | MUP | -- | MUP |
| Medical services - Clinics and laboratories | C | C | C | C |
| Medical services - Hospitals and extended care | CUP | CUP | CUP | CUP |
| Medical services - Veterinary clinics & hospitals | MUP | MUP | -- | C |
| Offices | C | C | C | C |
| Offices, temporary | See Section 17.56.300 | | | |
| Personal services | -- | -- | -- | C |
| Public safety facilities (fire station, Sheriff substation) | C | C | C | C |
| Public utility facilities | C | C | C | C |
| Repair and maintenance - Accessory to sales | -- | C | -- | C |
| Repair and maintenance - Consumer products | -- | C | -- | C |
| Service stations (17.56.220) | C | MUP | -- | C |
| Storage, accessory (17.56.250) | C | C | C | C |
| Storage, mini-storage facilities (17.56.260) | -- | -- | -- | C |
| Storage of petroleum products for on-site use | C | C | C | C |
| Warehousing, wholesaling and distribution (17.56.260) | MUP | MUP | -- | -- |
| Transient Lodging | | | | |
| Hotels and motels (17.56.130) | C | MUP | -- | C |
| Transportation & Communications | | | | |
| Antennas, communications facilities | See Section 17.56.060 | | | |
| Broadcasting studios | C | C | C | C |
| Heliports (17.56.040) | CUP | CUP | CUP | CUP |
| Pipelines and transmission lines | C | C | C | C |
| Vehicle and freight terminals | MUP | -- | -- | MUP |

C = Zoning Clearance; CUP = Conditional Use Permit; MUP = Minor Use Permit; -- = Not Permitted

NOTE: Where a Zoning Clearance is required for a proposed use that includes outdoor activities, which is located within the WRSL's Minimum Public Facility Buffer Limit, as defined in the SAP, an Administrative Review Permit, or other use permit as noted in the table above, shall be required.

D. Development Standards

Development standards for all Campus Park parcels, regardless of district, are provided in Table 4-2. All buildings, structures, and accessory structures shall conform to these standards unless otherwise noted.

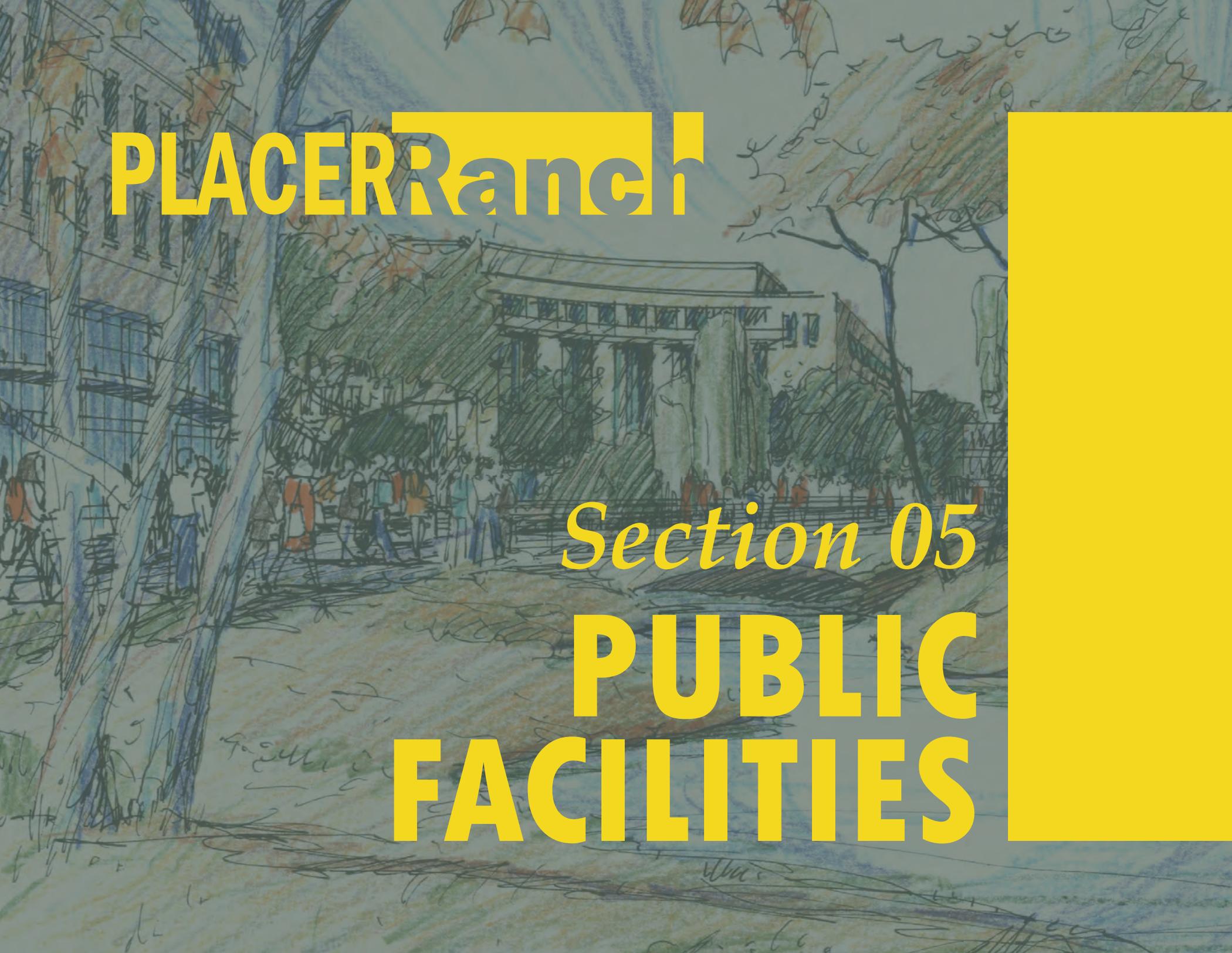
TABLE 4-2: CP DEVELOPMENT STANDARDS

| Development Feature | Standard |
|------------------------------|--|
| Parcel Size | No minimum lot area or lot width required |
| Setbacks | |
| Front/Primary Street: | - 0' minimum from multi-purpose easement |
| Side: | - 15' minimum from property line |
| Rear: | - 15' minimum from property line |
| Interior Separation: | - 20' minimum between buildings |
| Building Placement | N/A |
| Site Coverage | 50% ¹ |
| Height (maximum) | 150' |
| Parking | As required by Section 17.54.050, -060, and -070 of Placer County Code |

¹ No limitation for parking structures

04 campus park standards

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An architectural sketch in blue, green, and brown tones depicting a public facility. The drawing shows a large building with a prominent entrance, surrounded by trees and a paved area where several people are walking. The style is loose and expressive, typical of conceptual architectural drawings.

PLACER Ranch

Section 05

PUBLIC FACILITIES

COUNTY
OF

Placer

Placer Ranch

05 public facility standards

- A. Overview
- B. Permitted Uses
- C. Development Standards

05 public facility standards

A. Overview

The PRSP includes several Public Facilities (PF) parcels for schools, groundwater wells, lift stations, electric facilities, water storage facilities, and other utilities. Public facility parcels are identified on Figure 5-1.

All Public Facilities parcels are zoned SPL-PRSP. The purpose of this zoning designation is to defer development regulations to the PRSP Development Standards instead of the County's Zoning Ordinance.

B. Permitted Uses

Table 5-1 outlines the permitted uses for PF parcels. None other than the uses listed in this table are permitted, subject to County review shown for each use, and any applicable standards and provisions in the Specific Plan, Development Standards, and Design Guidelines. The Planning Director shall have the discretion to permit land uses that are not listed if they are consistent with the intent of the Public Facilities designations, pursuant to Section 17.02.050 of the Placer County Zoning Ordinance. The Planning Director may also forward questions about equivalent uses directly to the Planning Commission for a determination.

TABLE 5-1: PUBLIC FACILITIES PERMITTED USES

| Use | PF |
|---|-----------------------|
| Accessory storage | See Section 17.56.250 |
| Antennas, communications facilities | See Section 17.56.060 |
| County Corporation Yard | C |
| Government offices | MUP |
| Houses of worship | MUP |
| Parks | C |
| Pipelines and transmission lines | C |
| Public safety facilities (fire station, Sheriff substation) | C |
| Public facilities (sewer lift station, water facilities, utilities) | C |
| Public utility facilities | C |
| Schools | C |

C = Zoning Clearance; CUP = Conditional Use Permit;
MUP = Minor Use Permit; -- = Not Permitted

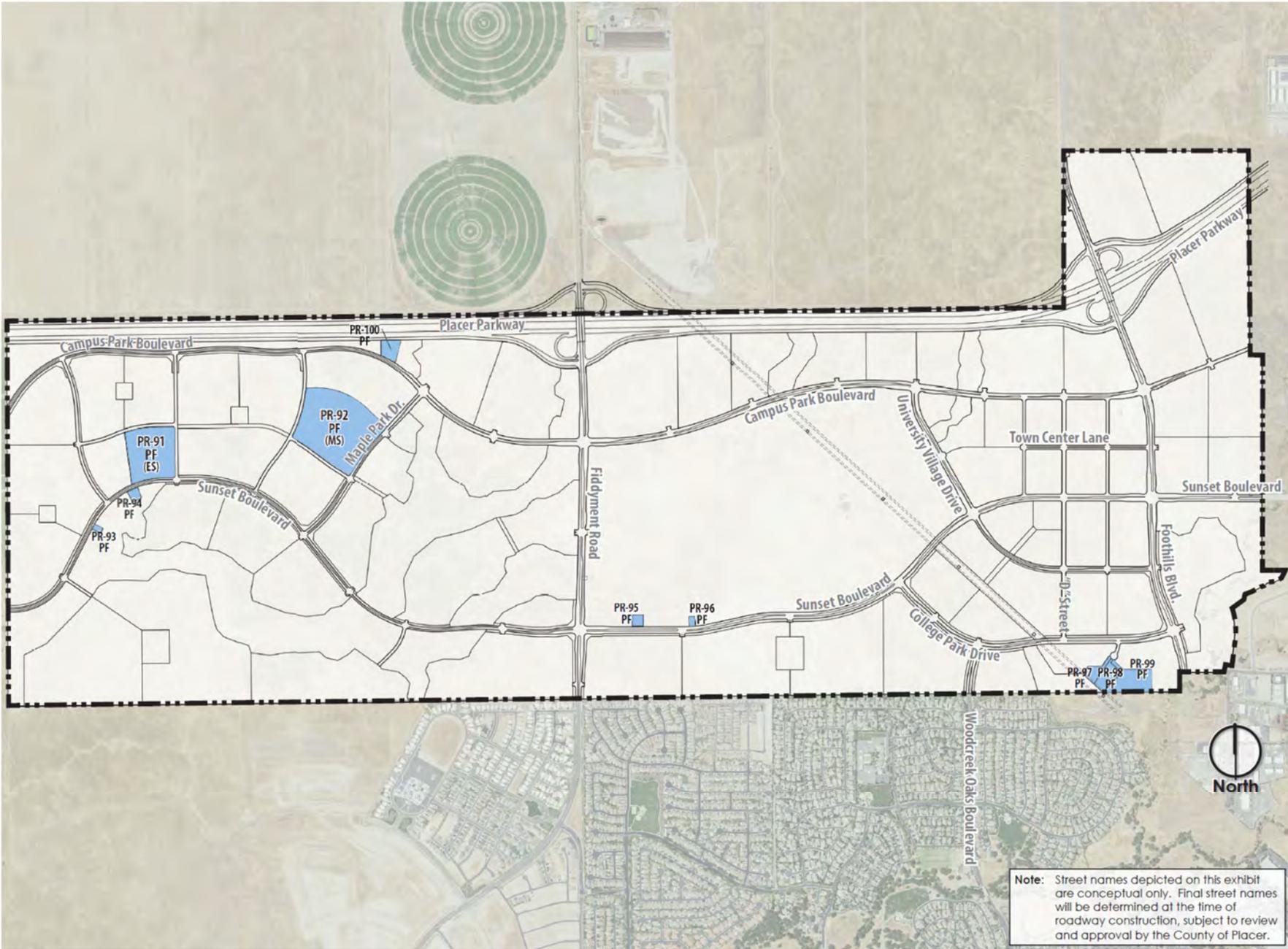
NOTE: Where a Zoning Clearance is required for a proposed use that includes outdoor activities, which is located within the WRSL's Minimum Public Facility Buffer Limit, as defined in the SAP, an Administrative Review Permit, or other use permit as noted in the table above, shall be required.

C. Development Standards

Requirements for Public Facility (PF) parcels are outlined in Table 5-2. All buildings, structures, and accessory structures shall conform to these standards unless otherwise noted. Additional requirements for potable water, wastewater, recycled water, utility storage tanks, and dry utilities are also outlined in this sub-section.

TABLE 5-2: PUBLIC FACILITIES DEVELOPMENT STANDARDS

| Development Feature | Standard |
|--|---|
| Parcel Size | No minimum lot area or lot width required |
| Building and Parking Lot Setbacks | - 20' from back-of-curb where adjacent to roadway - 1.5' from property lines adjoining a PF or OS land use - 25' from property lines adjoining a residential land use |
| Site Coverage | No maximum |
| Height (maximum) | 50' (unless permitted higher by Placer County Code) |
| Site Design | The design of Public Facility sites shall be as required by the Development Review Committee for projects subject to Placer County approval. |
| Parking | As required by Section 17.54.050, -060 & -070 of Placer County Code |



Note: Street names depicted on this exhibit are conceptual only. Final street names will be determined at the time of roadway construction, subject to review and approval by the County of Placer.

FIGURE 5-1: PUBLIC FACILITY PARCELS

05 public facility standards

GENERAL STANDARDS

Public utilities serving the PRSP shall be constructed in accordance with the following general standards.

- Requirements for parcel sizes, building setbacks, building heights, site coverage, and parking shall be as required by the Development Review Committee for projects subject to Placer County approval.
- Utilities directly serving the PRSP shall be placed underground and in easements. Generally, underground electric facilities are 12kV or less.
- Equipment and mechanical devices shall not be located in a building setback area or side yard, except cable boxes and communication equipment.
- All public facility service and equipment areas shall be screened from public view by structures, masonry walls, and/or landscape materials that are compatible with the surrounding architecture and landscape design. Masonry walls and buildings shall be consistent with the design specifications for masonry walls, as depicted in the Walls & Fencing section of the Design Guidelines. Landscape screening shall utilize plant materials selected from the Master Plant Palette provided in the Landscaping section of the Design Guidelines.

POTABLE WATER FACILITIES

Placer County Water Agency (PCWA) is the PRSP's water provider. Construction of potable water facilities shall comply with the following requirements:

- All potable water facilities shall be constructed in accordance with PCWA standards and Placer County standards.
- Permits shall be obtained and groundwater water wells shall be constructed per the requirements of the Placer County Code.
- The routing of underground backbone pipelines and the location of water storage tanks shall be as depicted in PRSP Section 9, Utilities.



- Groundwater wells and pumping stations shall be located within an enclosed building. The design, color, and appearance of building exteriors shall be architecturally harmonious with the design specifications for masonry walls, as depicted in the Fencing section of the Placer Ranch Design Guidelines.
- Public restroom facilities within the parks shall be connected to the public water system.

WASTEWATER FACILITIES

All on-site wastewater facilities shall be constructed in accordance with Placer County standards. Construction of wastewater facilities shall comply with the following requirements:

- Permits shall be obtained and systems shall be installed per the requirements of the Placer County Code.
- The routing of underground backbone pipelines and the location of lift stations shall be as depicted in Section 7, Utilities, of the PRSP.
- Lift stations and associated facilities shall be enclosed within, and screened by, a masonry wall and perimeter landscaping.
- The design, appearance, and color of wall enclosures shall be consistent with the design specifications for masonry walls, as depicted in the Fencing section of the Design Guidelines.
- Landscape screening shall consist of tree, shrub, and groundcovers, with plant materials selected from the Master Plant Palette provided in the Landscaping section of the Design Guidelines.
- Public restroom facilities within the parks shall be connected to the public sewer system.



RECYCLED WATER FACILITIES

Placer County Water Agency (PCWA) is the service provider for all recycled water facilities, including wholesale and distribution operations. The construction of all on-site recycled water facilities shall comply with the following requirements:

- Recycled water facilities shall be constructed in accordance with PCWA standards and Placer County standards.
- The routing of underground backbone pipelines and the location of recycled water storage tanks shall be as depicted in Section 7, Utilities, of the PRSP.
- Pumping stations, if required, shall be located within an enclosed building. The design, color, and appearance of building exteriors shall be architecturally harmonious with the design specifications for masonry walls, as depicted in the Fencing section of the Design Guidelines.
- Parks shall be connected to the recycled water infrastructure system for use in landscape irrigation.



WATER & RECYCLED WATER STORAGE TANKS

Above-grade water and recycled water storage tanks are to be constructed as depicted in Section 7, Utilities, of the PRSP. Each tank shall comply with the following standards.

- To the extent possible, water storage tanks shall be screened from off-site view.
- Each tank, or grouping of tanks, shall be surrounded by a securable masonry wall enclosure with gate, as required by either Placer County or PCWA. The design, appearance, and color of wall enclosures shall be consistent



with the design specifications for masonry walls, as depicted in the Walls & Fencing section of the Design Guidelines.

- Tanks shall be painted a flat, earth-tone color(s). The exterior color shall be approved by Placer County Water Agency and the CDRA Planning Division.
- Trees shall be planted around the tank and/or perimeter wall to help screen these facilities from off-site view. Trees shall be planted in compact groupings. Tree species shall be selected from the Master Plant Palette provided in the Landscaping section of the Design Guidelines.

ELECTRICITY AND GAS LINES

Pacific Gas and Electric (PG&E) is the service provider for the PRSP's electricity and natural gas utilities. All electric and gas lines shall be installed in accordance with standards of the utility provider.

Electric Substation for Placer Ranch

Electricity service includes the construction of a substation within the Plan Area. Construction of any such facility shall comply with the following requirements:

- Facilities shall be constructed in accordance with PG&E standards.
- The substation and associated facilities shall be surrounded by a securable masonry wall enclosure with gate, as required by either PG&E or Placer County. The design, appearance, and color of any wall enclosure shall be consistent with the design specifications for masonry walls, as depicted in the Walls & Fencing section of the Design Guidelines.
- Substation sites shall include perimeter landscaping, consisting of trees, shrubs, and groundcovers, which help screen the facility from off-site view. Plant materials shall be selected from the Master Plant Palette provided in the Landscaping section of the Design Guidelines.



05 public facility standards

Roseville Power Plant 2

Roseville Power Plant 2 (RPP2) is an electric peaking facility that was constructed in the Plan Area prior to Specific Plan approval. While not a component of the PRSP's backbone electric infrastructure, RPP2 is located on a 1.79-acre site in the southeastern corner of the Plan Area. RPP2 is owned and operated by the City of Roseville, which is tied to Roseville Electric's backbone system.

This facility has been integrated into the Placer Ranch development plan and has a PF land use designation to be consistent with similar uses in the PRSP. As a public utility owned and operated by the City of Roseville, RPP2 is not subject to the PRSP's development regulations. However the use is subject to applicable regulations contained in the Placer County Code that were in effect at the time of Specific Plan approval and Placer County issued Permits NCPA-87-001 and NCPB-87-001.

As noted on the land use plan, similar public utilities are located adjacent to RPP2, including sites for a substation and recycled water tank. These sites will ultimately be enclosed with walls to provide security and a visual buffer, as noted in PRDS Section 9.



An architectural sketch in blue, green, and brown tones depicting a park or public space. On the left, there is a multi-story building with a grid of windows. In the center, a paved walkway leads towards a large, open area where several small figures of people are walking. To the right, there are trees with sparse foliage. The overall style is a loose, expressive line drawing with some color washes.

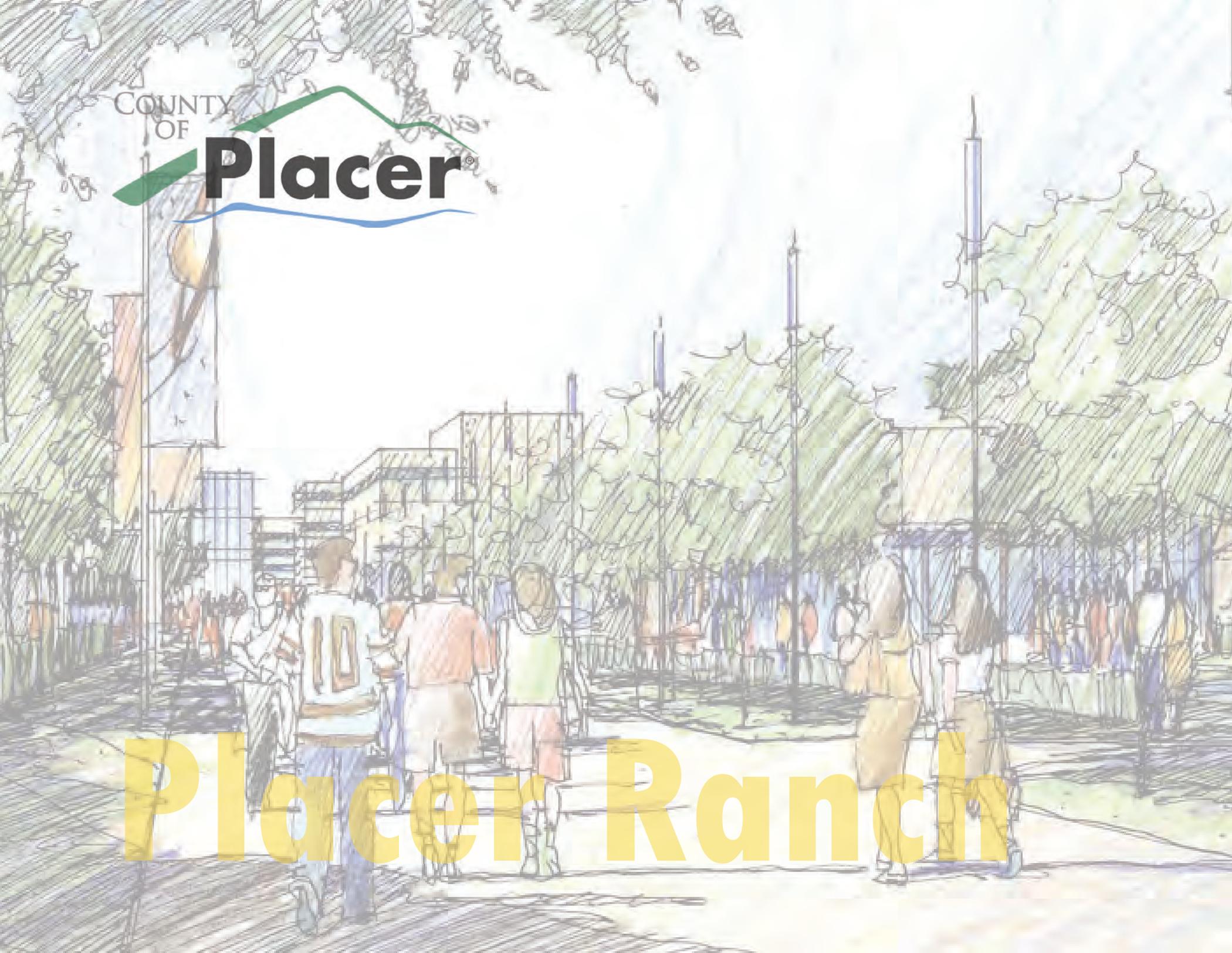
PLACER Ranch

Section 06

PARKS & OPEN SPACE

COUNTY
OF

Placer



Placer Ranch

06 park & open space standards

- A. Overview
- B. Park & Open Space Use Designations
- C. Permitted Uses
- D. Development Standards

06 park & open space standards

A. Overview

The Parks and Open Space section outlines the land use types, permitted and conditionally-permitted uses, and development standards applicable to park and open space designations. This section should be used to regulate any development or uses on parcels with a Parks and Recreation (PR) or Open Space (OS) designation.

The parks and open space parcels subject to the permitted uses and development standards in this section are identified on Figure 6-1.

B. Park & Open Space Use Designations

Several park and open space designations are included in the PRSP:

- **Parks and Recreation (PR):** Applies to parcels where active parks are planned, which may be public or private.
- **Open Space (OS):** Applies to parcels with an OS designation, for both developed paseos and undeveloped open space preserves.

All Park and Open Space designations have a single zoning designation, SPL-PRSP, as noted in Table 6-1. The purpose of this zoning designation is to defer development regulations to the PRSP Development Standards instead of the County's Zoning Ordinance.

TABLE 6-1: PR & OS DESIGNATIONS & ZONING

| Key | Specific Plan Designation | Zoning District |
|-----|---------------------------|-----------------|
| PR | Parks and Recreation | SPL-PRSP |
| OS | Open Space | SPL-PRSP |

C. Permitted Uses

Table 6-2 outlines the permitted and conditionally-permitted uses for PR and OS parcels. None other than the uses listed in this table are permitted, subject to County review shown for each use, and any applicable standards and provisions in the Specific Plan, Development Standards, and Design Guidelines. The Planning Director shall have the discretion to permit land uses that are not listed if they are consistent with the intent of the Park and

Open Space designations, pursuant to Section 17.02.050 of the Placer County Zoning Ordinance. The Planning Director may also forward questions about equivalent uses directly to the Planning Commission for a determination.

TABLE 6-2: PR & OS PERMITTED USES

| Use | PR | OS |
|--|-----------------------|----|
| Utility installations, easements, & installations for local service | C | C |
| Accessory uses and structures customarily incidental to a permitted use | C | C |
| Public and private buildings, recreation facilities, and related uses | C | -- |
| Maintenance buildings and related facilities and storage | C | C |
| Parks | C | -- |
| Restaurants and bars, ancillary to the primary use | CUP | -- |
| Conservation preserves and easements | -- | C |
| Grazing, including attendant operational facilities | C | C |
| Water storage (reservoirs/ponds/ containers) | -- | C |
| Water extraction facilities (wells or similar) | C | C |
| Signage | C | C |
| Trails (pedestrian and bicycle) | C | C |
| Storm water drainage facilities, water quality features, and maintenance | C | C |
| Walls and fences | C | C |
| Fire control improvements, and fuel reduction and maintenance areas | C | C |
| Access roads and emergency vehicle access | C | C |
| Water conveyances and related facilities | C | C |
| Landscape planting and irrigation facilities | C | C |
| Forestry, native tree, and plant re-vegetation | -- | C |
| Wetland mitigation | -- | C |
| Contour grading to buffer and blend adjacent parcel grading activities | C | C |
| Temporary uses | See Section 17.56.300 | |

C = Zoning Clearance; CUP = Conditional Use Permit; MUP = Minor Use Permit; -- = Not Permitted

NOTE: Where a Zoning Clearance is required for a proposed use that includes outdoor activities, which is located within the WRSL's Minimum Public Facility Buffer Limit, as defined in the SAP, an Administrative Review Permit, or other use permit as noted in the table above, shall be required.

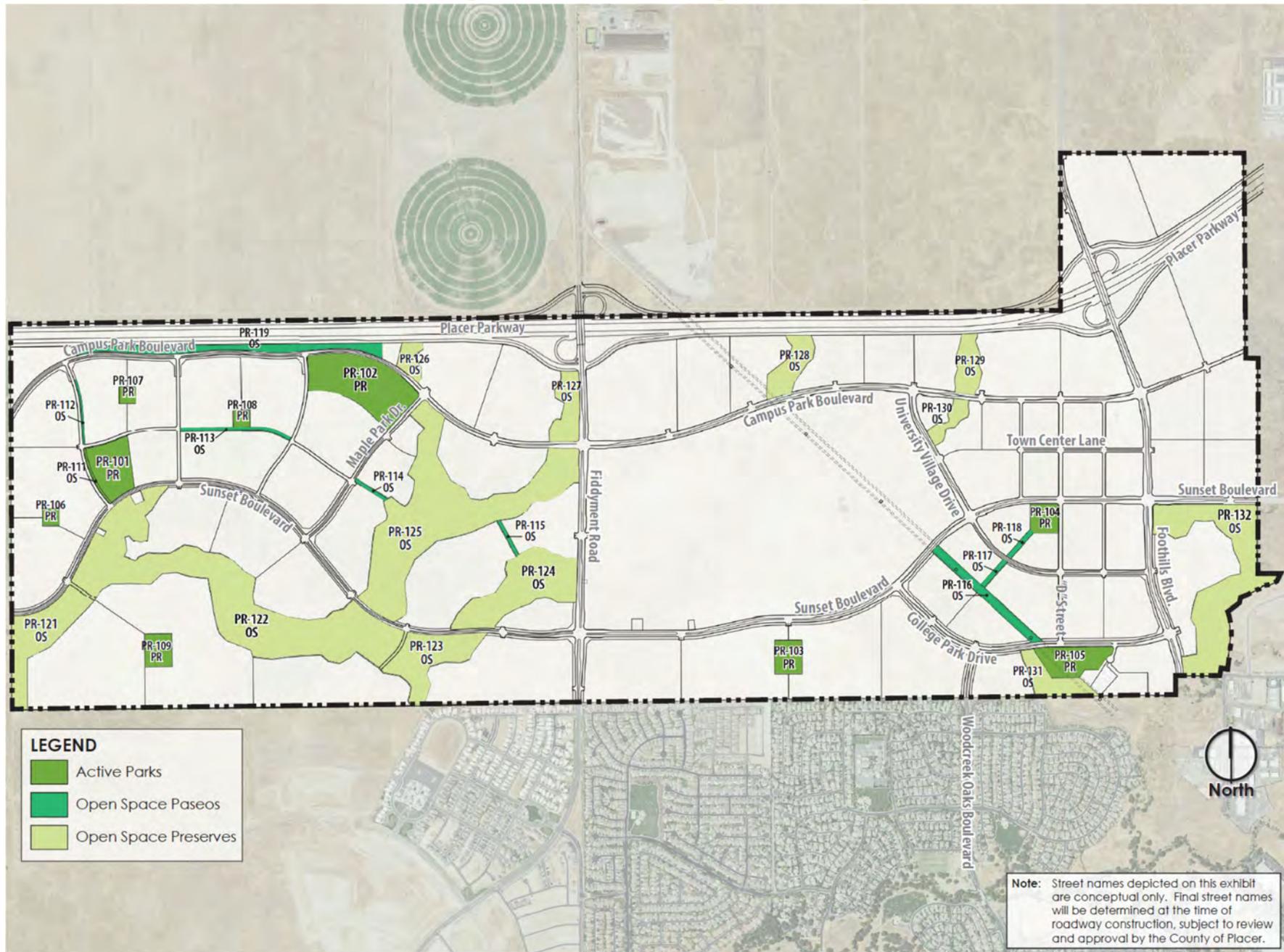


FIGURE 6-1: PARKS & OPEN SPACE PARCELS

06 park & open space standards

D. Development Standards

Requirements for Parks and Recreation (PR) and Open Space (OS) parcels are outlined in Tables 6-3 and 6-4. All buildings, structures, and accessory structures shall conform to these standards unless otherwise noted.



TABLE 6-3: PR DEVELOPMENT STANDARDS

| Development Feature | Standard |
|--|--|
| Parcel Size | No minimum size – as approved by Placer County parks |
| Building and Parking Lot Setbacks | <ul style="list-style-type: none"> - 20' from back-of-curb where adjacent to roadway - 15' from property lines adjoining a PF or OS land use - 25' from property lines adjoining a residential land use |
| Site Coverage | No maximum |
| Height (maximum) | 50' ¹ |
| Site Design | Park site design shall be guided by the park programs and concept site plans provided in the PRDG Section 4. Where concept plans are not provided (i.e. mini-parks, paseos, etc.), final park design shall conform to the Design Intent for Active Parks, as described in PRSP Section 8 and as approved by Placer County parks. |
| Landscape Design | Plant materials shall be selected from the Master Plant Palette provided in the Landscaping section of the Design Guidelines, or as otherwise approved by the Development Review Committee. |
| Parking | As required by Section 17.54.050, -060 & -070 of Placer County Code |

¹ Lighting standards for sports fields exempt

TABLE 6-4: OS DEVELOPMENT STANDARDS

| Development Feature | Standard |
|----------------------------------|--|
| Parcel Size | No minimum lot area or lot width required |
| Setbacks | N/A |
| Site Coverage | N/A |
| Height (maximum) | N/A |
| Site and Landscape Design | Site disturbance and activity shall be as permitted in the PRSP Open Space Long Term Management Plan (LTMP). The LTMP contains regulations for fire/fuel modification zones, mowing activities, grading and construction activities, pedestrian and bikeway paths, storm drainage systems (including outfall locations and the treatment and transfer of stormwater to receiving waters), utility crossings, and other permitted activities. |
| Parking | As required by Section 17.54.050, -060 & -070 of Placer County Code |





PLACER Ranch

Section 07

STREETS & MULTI-USE TRAILS

COUNTY
OF

Placer

Placer Ranch



07 streets & multi-use trails

- A.** Overview
- B.** General Design Criteria
- C.** Arterial & Collector Design Standards
- D.** Local Street Design Standards
- E.** Supplemental Design Standards
- F.** Multi-Use Trail Design Standards

07 streets & multi-use trails

A. Overview

Placer Ranch's street system is designed to provide multiple options to move throughout the community. It is augmented by an extensive network of street-separated multi-use trails, which creates a single, comprehensive network that supports automobiles, bicyclists, and pedestrians.

The Placer Ranch Development Standards (PRDS) establish the design criteria for all major roadways and local streets in Placer Ranch, including on-street bike lanes and sidewalks. The PRDS also includes the design requirements for the community's various types of multi-use trails.

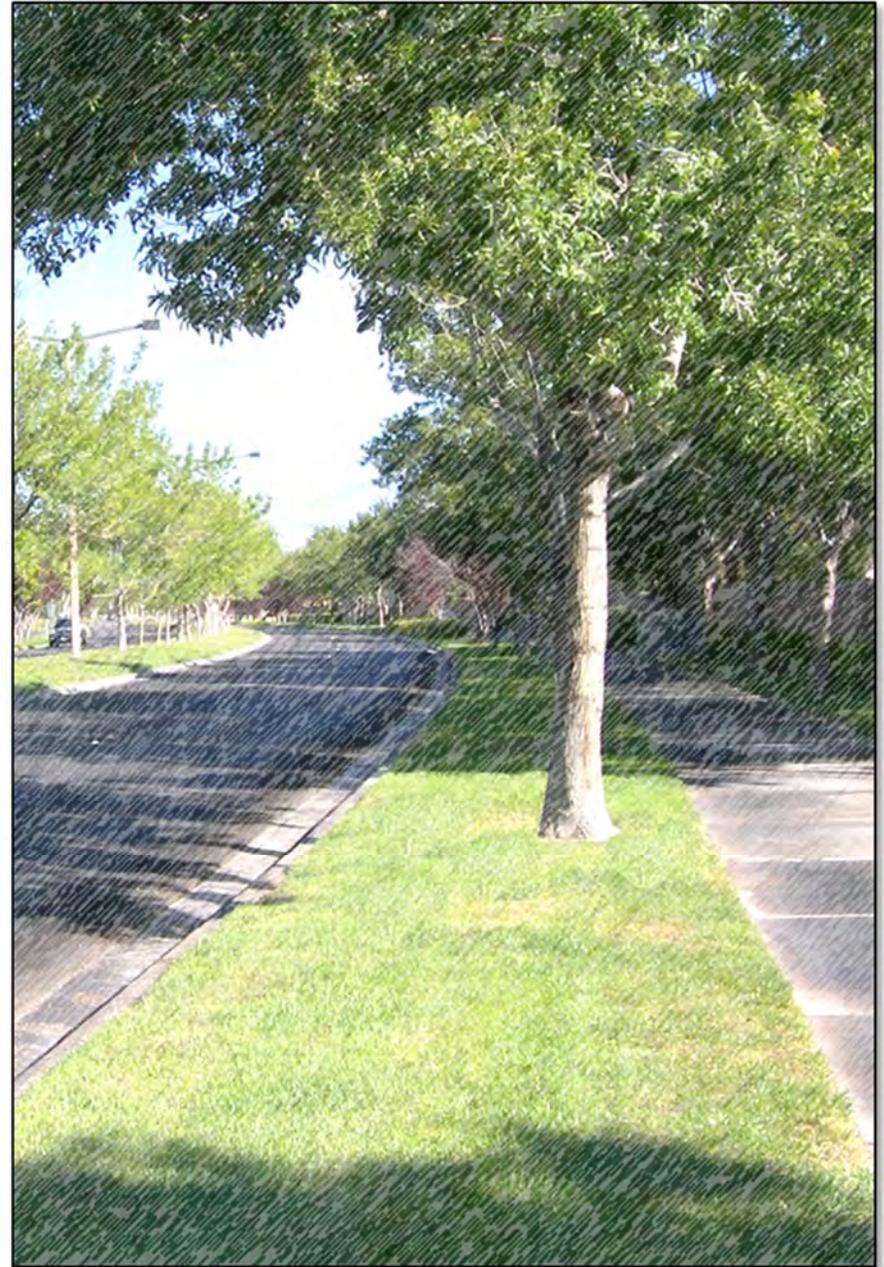
In addition to the roadway design standards provided in this section, additional requirements are outlined in several companion documents:

- **Placer Ranch Specific Plan:** Describes the location, function, size, and general design concept for each roadway type.
- **Placer Ranch Design Guidelines:** Provides guidelines for the visual design of landscape corridors and medians, and includes planting concepts, plant palettes, and a street tree master plan.
- **Placer Ranch Development Agreement:** Defines the obligations, financing, and timing requirements for the construction of arterial and collector roadways.

B. General Street Design Criteria

Roadway design requirements are outlined in this section. This includes specifications for the width of each roadway's automobile lanes, bike lanes, sidewalks, medians, landscape corridors, and overall highway easement. All public roads are to be designed and constructed per the design sections provided in the PRDS. Where the PRDS is silent, the Placer County Land Development Manual shall govern.

The type and locations of all roadways are shown on Figure 7-1, Roadway Key Map. Information regarding each major roadway's size, lane capacity, highway easement, and other requirements are summarized in Table 7-1, Roadway Summary.



C. Arterial & Collector Design Standards

Arterial roadways are designed for the movement of high traffic volumes and function as the primary circulation routes within the Plan Area. These facilities provide connections among collector and local streets to regional-serving roadways and typically have restricted and/or consolidated access. Collector streets are secondary circulation routes that generally distribute trips from the arterial street system to the local street system.

In the PRSP, arterials have between 4 to 6 lanes and collectors have 2 lanes, and both typically include landscape medians, bikeways, and landscaped edges with detached sidewalks. Sidewalks along arterial streets also function as Class I corridor trails, which provide an option for bicyclists to ride on a street-separated path versus riding on the street. An overview of each type of arterial and collector roadway planned in Placer Ranch is summarized below:

Fiddymment Road & Foothills Boulevard

→ **Reference:** Figures 7-2 and 7-5

Existing segments of these roadways will be improved in their current alignments. The ultimate improvements for Fiddymment Road and Foothills Boulevard consist of a 6-lane arterial through the Plan Area. The northern and southern segments of Fiddymment Road will transition to a 4-lane arterial before leaving the site. Foothills Boulevard is planned to connect with a segment of this roadway located to the south in the City of Roseville, which was constructed prior to specific plan approval. All roads incorporate on-street, Class II bike lanes, a 14'-wide median, and landscape corridors with detached sidewalks.

Sunset Boulevard

→ **Reference:** Figures 7-2, 7-3, and 7-7

To accommodate planned traffic volumes, the design of Sunset Boulevard varies depending on its location within the Plan Area. East of Fiddymment Road, it functions as an arterial roadway and a major artery into the Plan Area from Highway 65, providing direct access to the Town Center and the university site. Between Foothills Boulevard and Fiddymment Road, the street provides four travel lanes, on-street bike lanes, and is designed as a “grand boulevard” with a 30'-wide median and wide landscape corridors. East of Foothills Boulevard, the roadway design increases in width to six travel lanes, and includes on-street bike lanes and a 14'-wide median.

To the west of Fiddymment Road, Sunset Boulevard functions as a collector street with two travel lanes and on-street bike lanes. This segment also incorporates a 20'-wide median and a uniquely-designed landscape corridor that provides an enhanced multi-use pathway.

Campus Park Boulevard

→ **Reference:** Figures 7-3, 7-4, 7-6, and 7-7

The design of Campus Park Boulevard varies depending on its location and its need to accommodate planned traffic volumes. Most of this roadway functions as an arterial, providing access to the Town Center, the university site, and several Campus Park parcels. Its design incorporates four travel lanes and on-street bike lanes. Medians are typically 20'-wide, with 30 feet provided along the university site's frontage.

East of Foothills Boulevard and west of Maple Park Drive, Campus Park Boulevard functions as a collector street with two travel lanes and on-street bike lanes. This segment also incorporates a 20'-wide median and a uniquely-designed landscape corridor that provides a multi-use pathway along the southern edge of the street.

College Park Drive and Woodcreek Oaks Boulevard

→ **Reference:** Figures 7-4 and 7-5

Smaller roadway segments within the Plan Area also function as arterial roadways. These include College Park Drive (along the southern edge of the Town Center) and Woodcreek Oaks Boulevard. The right-of-way for these roads varies depending on planned traffic volumes and intended purpose. All incorporate four travel lanes, on-street bike lanes, and a landscaped median.

University Village Drive

→ **Reference:** Figures 7-3 and 7-8

As a major linkage through the Town Center, this road provides access to several residential and commercial parcels between Foothills Boulevard and Campus Park Boulevard. North of Sunset Boulevard, the design section provides four travel lanes, on-street bike lanes, and a 30'-wide median. South of Sunset Boulevard, the design section incorporates two travel lanes, on-street bike lanes, and a 20'-wide median. Its design is intended to allow residential and commercial development to front along the street corridor.

TABLE 7-1: ROADWAY SUMMARY

| Roadway Type/ Name ¹ | Roadway Lane Capacity | Highway Easement | Landscape Corridor ³ | | Landscape Median | Parking | On-Street Bike Lane | Devel. Standards Fig. # |
|--|-----------------------|------------------|---------------------------------|-------------------------------------|------------------|-----------|---------------------|-------------------------|
| | | | Adjacent to LDR & MDR | Adjacent to Other Uses ⁴ | | | | |
| Arterial Roadways⁴ | | | | | | | | |
| 6-Lane Arterial (portions of Fiddlyment Rd., Foothills Blvd., & Sunset Blvd.) | 6 | 96' | 35' | varies | 14' | none | included | 7-2 |
| 4-Lane Arterial (portions of Sunset, Campus Park, & University Village) ² | 4 | 90' | 35' | varies | 30' | none | included | 7-3 |
| 4-Lane Arterial (Campus Park & College Park at Town Center edges and Campus Park west of Maple Park) | 4 | 80' | 35' | varies | 20' | none | included | 7-4 |
| 4-Lane Arterial (transition to collectors) | 4 | 74' | 35' | varies | 14' | none | included | 7-5 |
| Collector Roadways⁵ | | | | | | | | |
| Collector Street | 2 | 48' | 35' | varies | none | none | included | 7-6 |
| Collector with Median (Campus Park Blvd. & Sunset Blvd.) | 2 | 58' | 25'/30' | varies | 20' | none | included | 7-7 |
| Collector in Town Center (University Village Drive) | 2 | 62' | 25' | 25' | 20' | none | included | 7-8 |
| Local Roadways⁶ | | | | | | | | |
| Major Residential (w/ designated on-street parking) | 2 | 42' | n/a | n/a | none | on-street | none | 7-9 |
| Primary Residential (standard & including option w/ paseo) | 2 | 40' | n/a | n/a | none | on-street | none | 7-10 |
| Town Center Lane (Alternative #1 in Town Center) | 2 | 56' | n/a | n/a | 14' | on-street | none | 7-11a |
| Town Center Lane (Alternative #2 in Town Center) | 2 | 56' | n/a | n/a | none | on-street | included | 7-11b |
| "D" Street (in Town Center) | 2 | 54' | n/a | n/a | none | on-street | included | 7-12 |
| Town Center Local Street (typical design) | 2 | 40' | n/a | n/a | none | on-street | none | 7-13 |
| Minor Residential (detached sidewalk) | 2 | 56' | n/a | n/a | none | on-street | none | 7-14 |
| Minor Residential (attached sidewalk) | 2 | 44' | n/a | n/a | none | on-street | none | 7-15 |

Footnotes:

1. Refer to Roadway Key Map in Figure 7-1 for the location of various roadway segments. Refer to the Placer Ranch Development Standards for roadway design specifications.
2. Depending on traffic requirements, segments of Campus Park Drive immediately east and west of Fiddlyment Road may be six lanes.
3. Landscape corridors vary depending on adjacent land uses. Refer to each street section's notes in the Placer Ranch Development Standards for specific requirements.
4. Along Park frontages, landscape corridors are not required (landscaping and sidewalks are constructed with park improvements). Along Open Space frontages, a Landscape Easement (LE)/Public-Use Easement (PE)/Multi-Purpose Easement (MPE) is provided (width varies depending on roadway type) with post and cable fencing located at 3' from back of walk. At culvert crossings, sidewalk is monolithic.
5. Ancillary right-turn lanes, bus turn-out's, and standard tapers are permitted reductions to the landscape corridors (LE/PE/MPE) or paseos.
6. Type 1 rolled curb and gutter permitted on local street where individual residential driveways are provided.

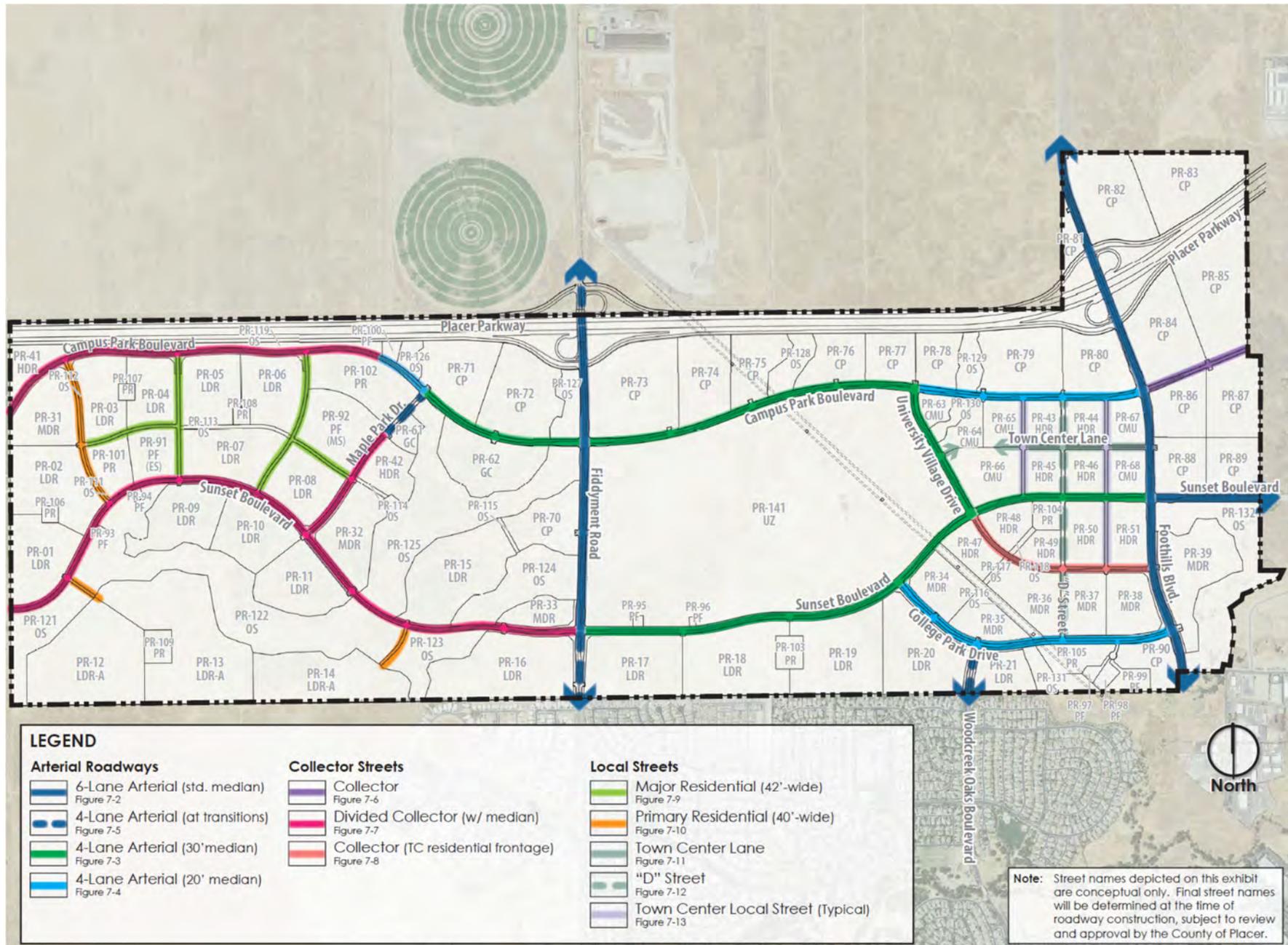
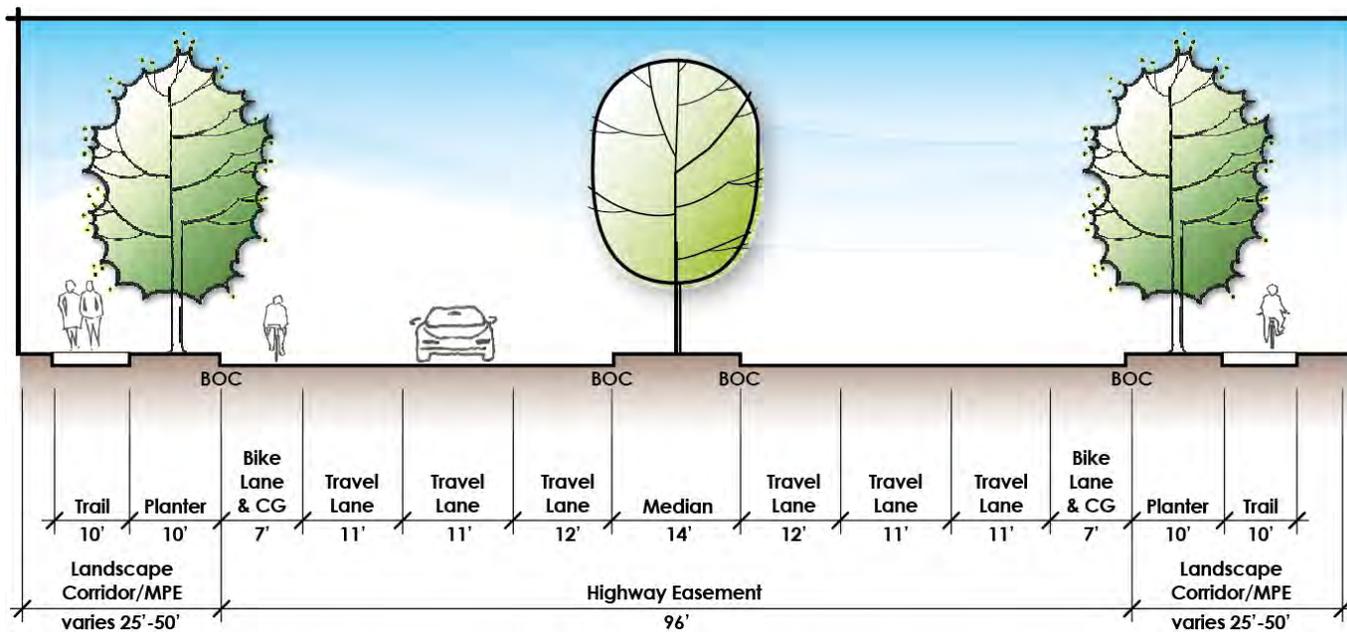


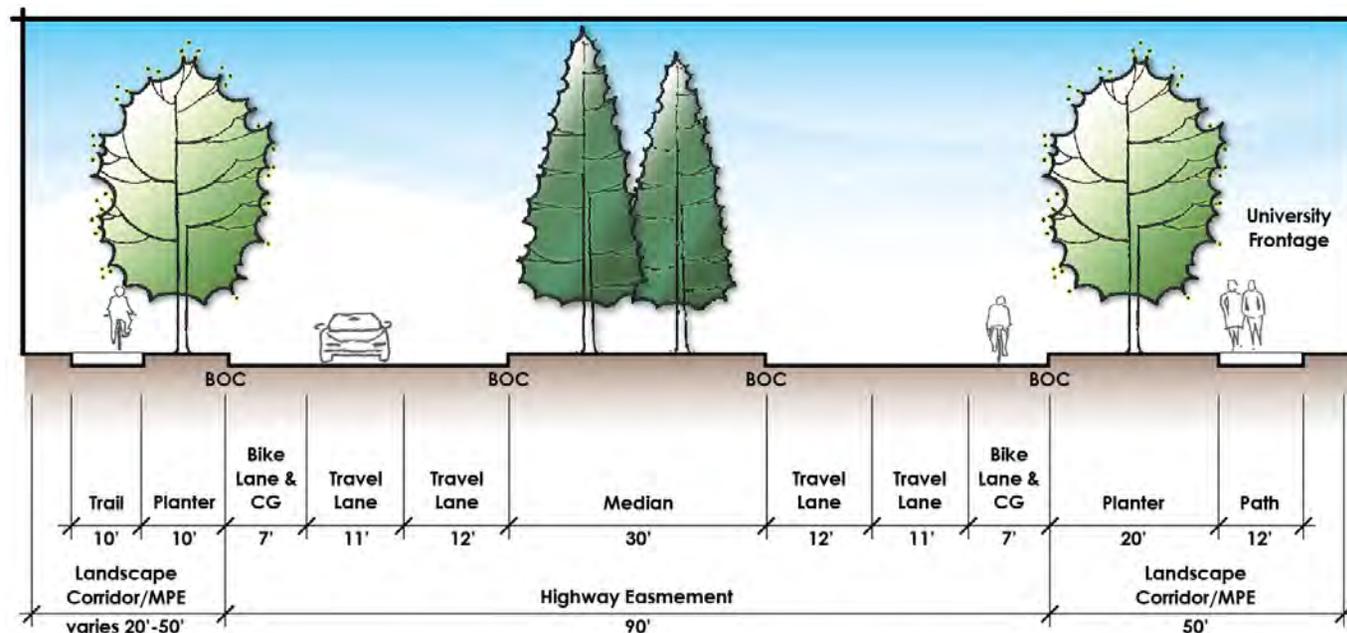
FIGURE 7-1: ROADWAY KEY MAP



Notes:

1. 50' LE/PE/MPE adjacent to CP, CMU, & HDR parcels
2. 50' LE & 35' PE/MPE adjacent to University
3. 35' LE/PE/MPE adjacent to LDR & MDR parcels
4. 25' LE/PE/MPE adjacent to Open Space parcels
5. 12' multi-use pathway along University frontage. Location may vary within MPE.
6. On-street parking not permitted

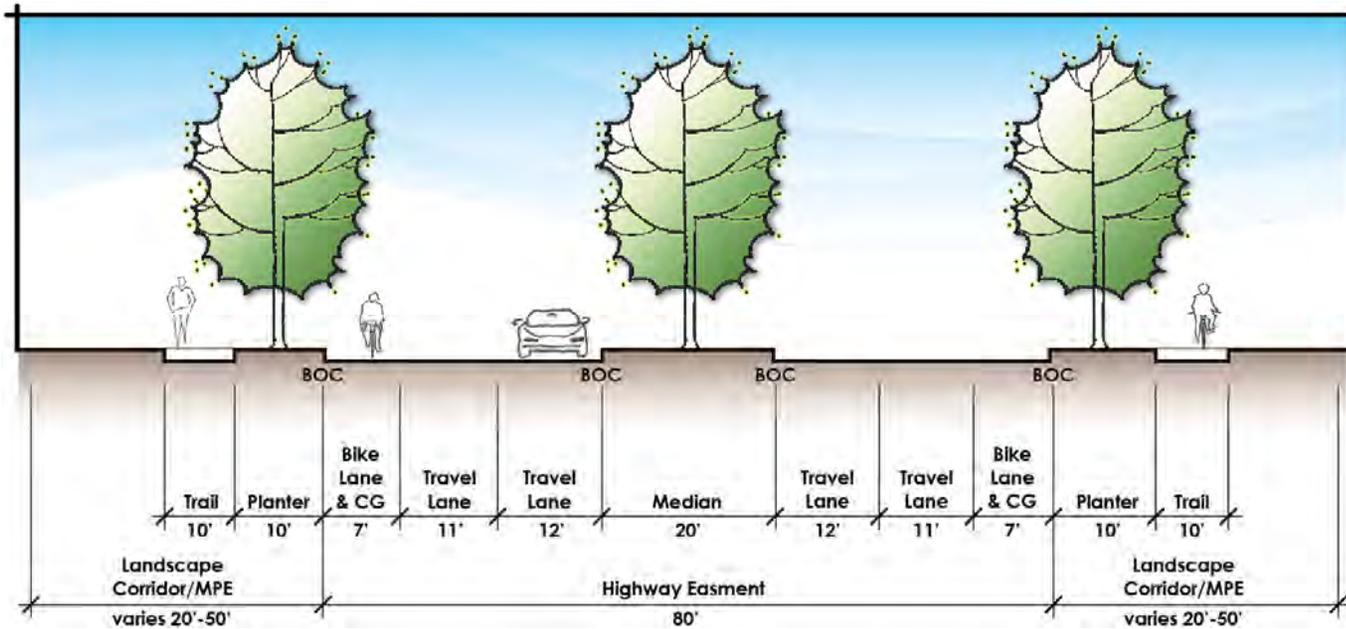
FIGURE 7-2: 6-LANE ARTERIAL (FIDDYMENT ROAD, FOOTHILLS BOULEVARD & SUNSET BOULEVARD)



Notes:

1. 50' LE/PE/MPE adjacent to CP, GC, & University parcels
2. 20' LE/PE/MPE adjacent to CMU & HDR parcels
3. 35' LE/PE/MPE adjacent to LDR, MDR, & PF parcels
4. 25' LE/PE/MPE adjacent to Park and Open Space parcels (except that no LE is required along Park frontage)
5. 12' multi-use pathway along University frontage. Location may vary within MPE.
6. Roadway design in proximity to Fiddymment Road may be modified to provide 6 lanes
7. Along CMU frontages, attached 20' sidewalk with 4'x4' tree wells is permitted in lieu of separated sidewalk.
8. On-street parking not permitted

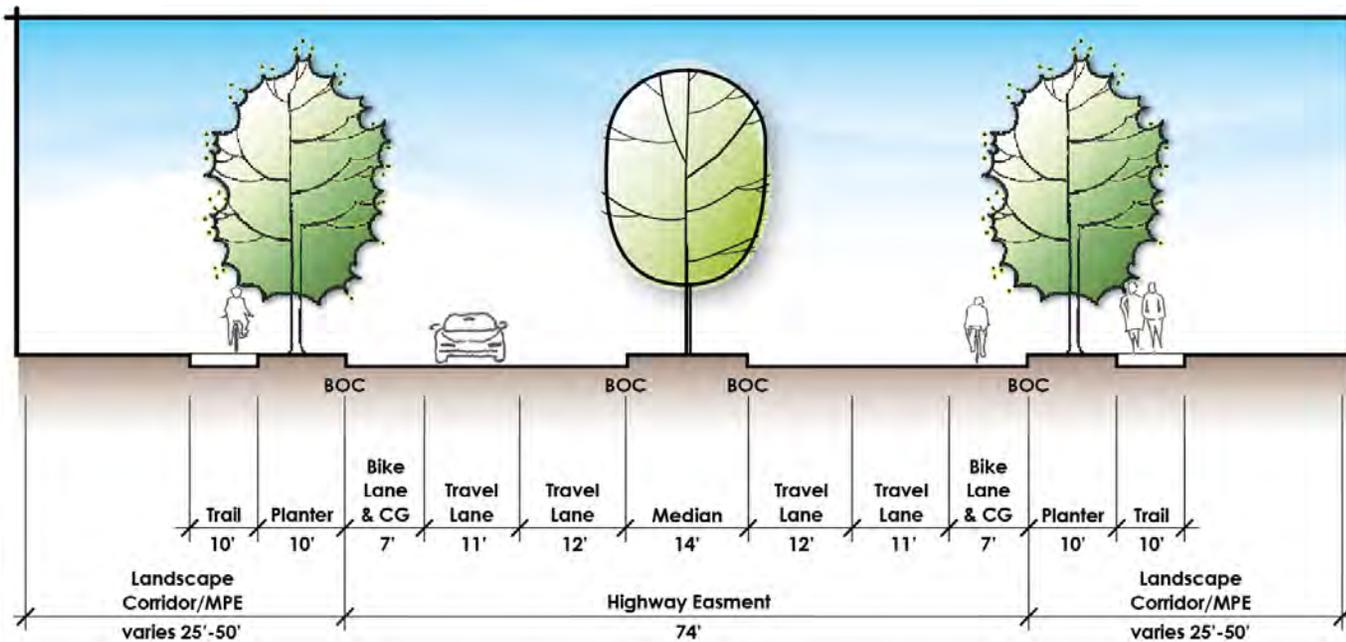
FIGURE 7-3: 4-LANE ARTERIAL (SUNSET BOULEVARD, CAMPUS PARK BOULEVARD & UNIVERSITY VILLAGE DRIVE)



Notes:

1. 50' LE/PE/MPE adjacent to CP parcels
2. 20' LE/PE/MPE adjacent to CMU & HDR parcels
3. 35' LE/PE/MPE adjacent to LDR, MDR, & PF parcels
4. 25' LE/PE/MPE adjacent to Park and Open Space parcels (except that no LE is required along Park frontage)
5. Along CMU frontages, attached 10' sidewalk with 4'x4' tree wells is permitted in lieu of separated sidewalk
6. On-street parking not permitted

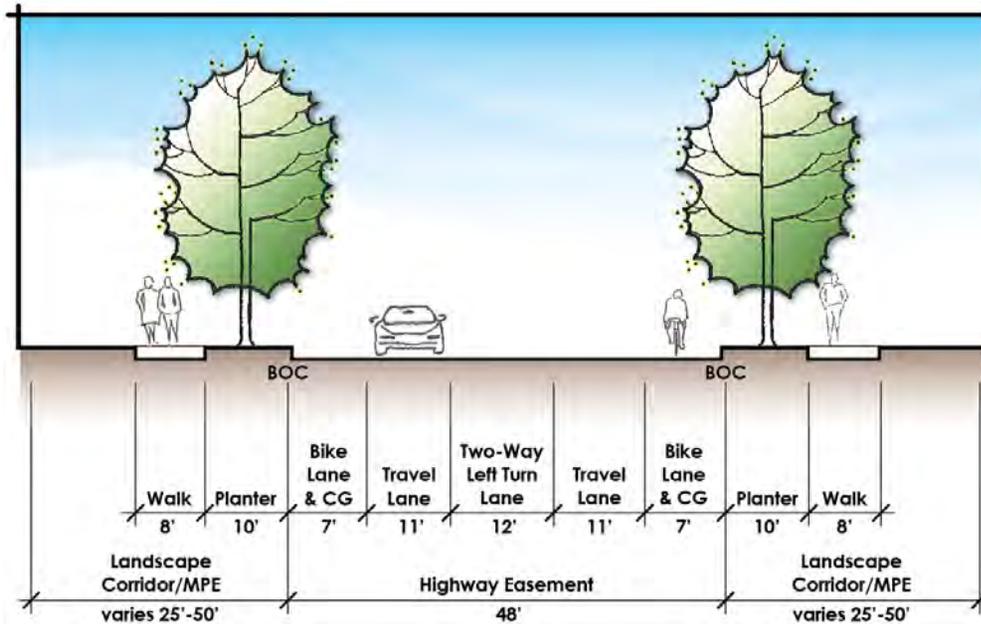
FIGURE 7-4: 4-LANE ARTERIAL (CAMPUS PARK BOULEVARD & PORTIONS OF COLLEGE PARK DRIVE)



Notes:

1. 50' LE/PE/MPE adjacent to CP & GC parcels
2. 35' LE/PE/MPE adjacent to LDR & MDR parcels
3. 25' LE/PE/MPE adjacent to Open Space parcels
4. 25' PE/MPE adjacent to Park parcels. Location of 10' path along frontage to be determined with park design.
5. On-street parking not permitted
6. Design applies to segments of Fiddymt Road north of Campus Park Boulevard and south of Sunset Boulevard where roadway transitions from 6 to 4 lanes.

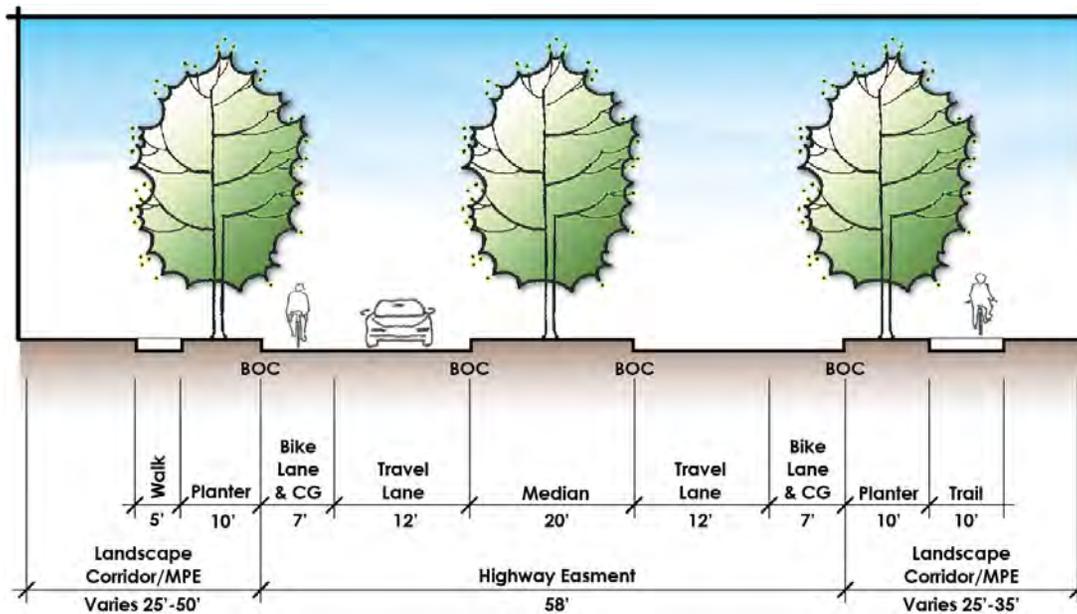
FIGURE 7-5: 4-LANE ARTERIAL (AT TRANSITIONS)



Notes:

1. 50' LE/PE/MPE adjacent to non-residential parcels
2. 35' LE/PE/MPE adjacent to residential parcels
3. 25' LE/PE/MPE adjacent to Open Space parcels
4. On-street parking not permitted

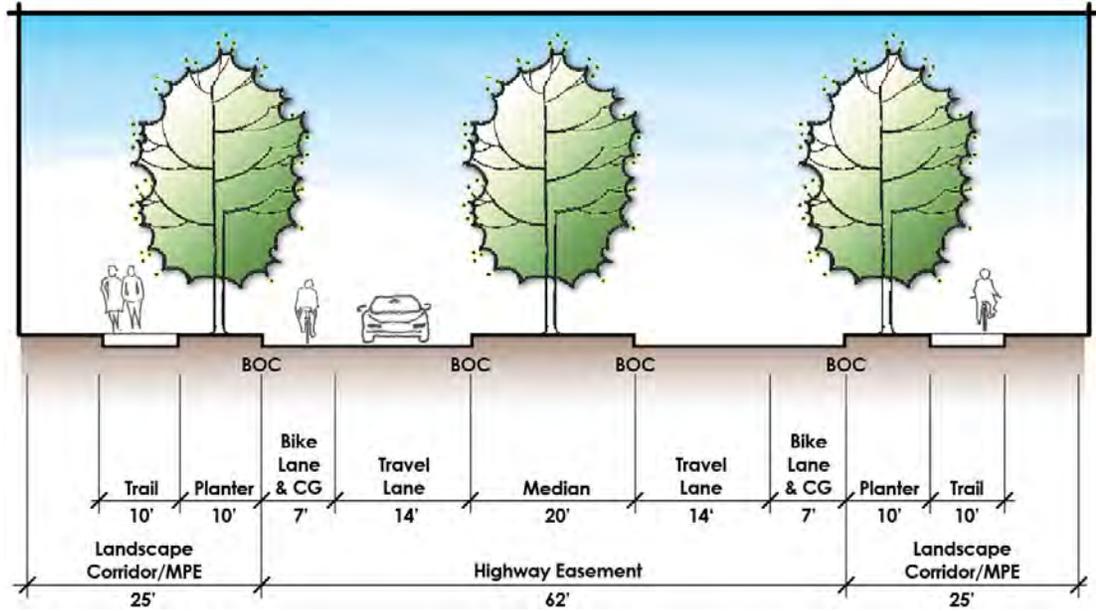
FIGURE 7-6: COLLECTOR STREET (CAMPUS PARK BOULEVARD)



Notes:

1. Campus Park Blvd: North side has 25' LE/PE/MPE with 5' walk, except that HDR frontage has 50' LE/PE/MPE and 10' multi-use path.
2. Campus Park Blvd.: South side has 30' LE/PE/MPE with 10' multi-use path, except that Park frontage has 25' PE/MPE.
3. Sunset Blvd.: North side has 30' LE/PE/MPE with 10' multi-use path, except that Park and School frontages have a 25' PE/MPE.
4. Sunset Blvd.: South side has 25' LE/PE/MPE with 5' walk. Along Open Space frontage, walk may be substituted with 10' multi-use path to meet requirements of Multi-Use Trail plan (Figure 7-22). Along frontage of LDR Parcel PR-16, 10' multi-use path required.
5. Maple Park Dr.: 35' LE/PE/MPE with 10' multi-use path required on both frontages, except that HDR frontage has a 50' LE/PE/MPE and Park frontage has a 25' PE/MPE.
6. Location of 10' multi-use trails at parks and schools may vary along frontage as determined during site design.
7. On-street parking not permitted

FIGURE 7-7: COLLECTOR STREET WITH MEDIAN (CAMPUS PARK BOULEVARD & SUNSET BOULEVARD)



Note:

1. On-street parking not permitted.

FIGURE 7-8: COLLECTOR STREET IN TOWN CENTER (UNIVERSITY VILLAGE DRIVE)



D. Local Street Design Standards

Compared to the other road types in the PRSP, local streets have the lowest traffic volumes and are designed to provide direct access to homes and businesses. Typically, these street types include two travel lanes with space for on-street parking and an adjacent sidewalk. Several design standards for local streets are permitted in the PRSP, depending on the application and desired interface between homes and the street. These include different types of Major, Primary, and Minor Residential Streets.

This section provides an overview of all local streets planned in the PRSP, including specific design standards for each. Refer to Figures 7-9 through 7-15 for each design section. Planned locations for each type of Primary Residential Street is identified on the Roadway Key Map in Figure 7-1.

Major & Primary Residential Streets

→ **Reference:** Figures 7-9 and 7-10

Several types of major and/or primary residential streets are planned to serve the residential neighborhoods west of Fiddymment Road and in the Town Center. Each design section provides two travel lanes, but varies in width depending on adjacent uses and the ability to provide parking lanes adjacent to school sites. West of Fiddymment Road, streets incorporate separated sidewalks and a landscape strip adjacent to the back of curb. Paseo linkages are also included along some frontages, as noted on the Land Use Plan.

Town Center Residential and Commercial Streets

→ **Reference:** Figures 7-11, 7-12 and 7-13

In the Town Center, the street design sections accommodate on-street parking, and both attached and detached sidewalks, depending on the adjacency of commercial and/or residential land uses. In order to achieve the envisioned urban street edge throughout the Town Center, different street designs are specified for various parcel edges as noted on the Roadway Key Map.

Town Center Lane is designed as the primary retail street in the Town Center, which provides a linear linkage between the mixed-use core adjacent to the university and the neighborhood shopping area along Foothills Boulevard. Two design alternatives are provided for Town Center Lane; one with a landscaped median and one with bike lanes. The first

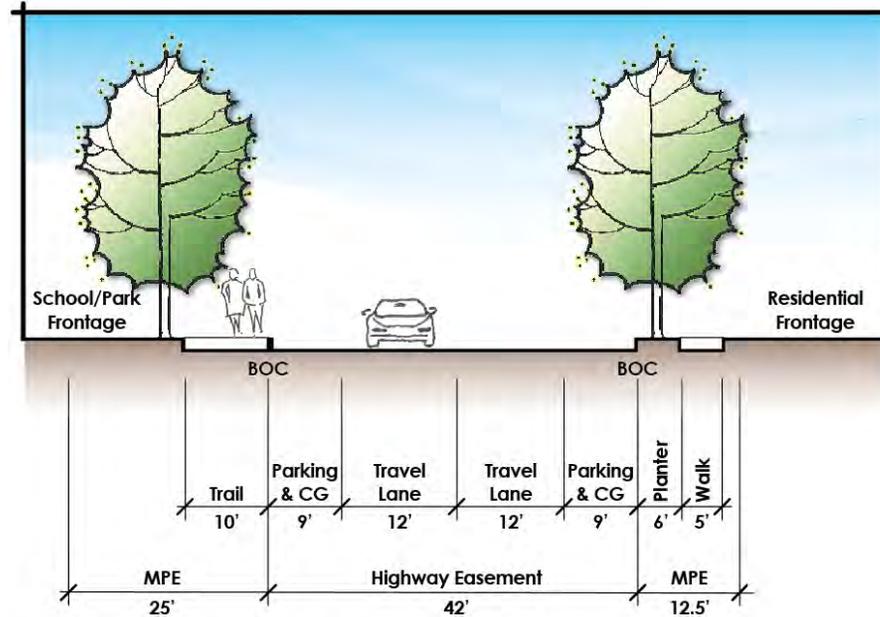
development project along Town Center Lane shall select one of these design alternatives, which will set the design precedent for the entire street. Within the mixed use core (Parcels PR-64, PR-65, & PR-66), the design of Town Center Lane may utilize a different design, provided that the street linkage is maintained (per PRDG Section 6) and that on-street parking and sidewalks are designed for an urban, downtown environment.

D Street is designed as the primary north/south street in the Town Center, providing an linear connection from the residential areas south of Sunset Boulevard to the mixed-use commercial core in the northern portion of the district. This street provides space for automobile travel lanes, bike lanes, and parallel parking. Two design alternatives for D Street's sidewalk configuration are permitted; one with a detached sidewalk and landscape planter to be used along residential interfaces south of Sunset Boulevard, and one with an attached sidewalk to be used along CMU and HDR interfaces north of Sunset Boulevard.

Minor Residential Streets

→ **Reference:** Figures 7-14 and 7-15

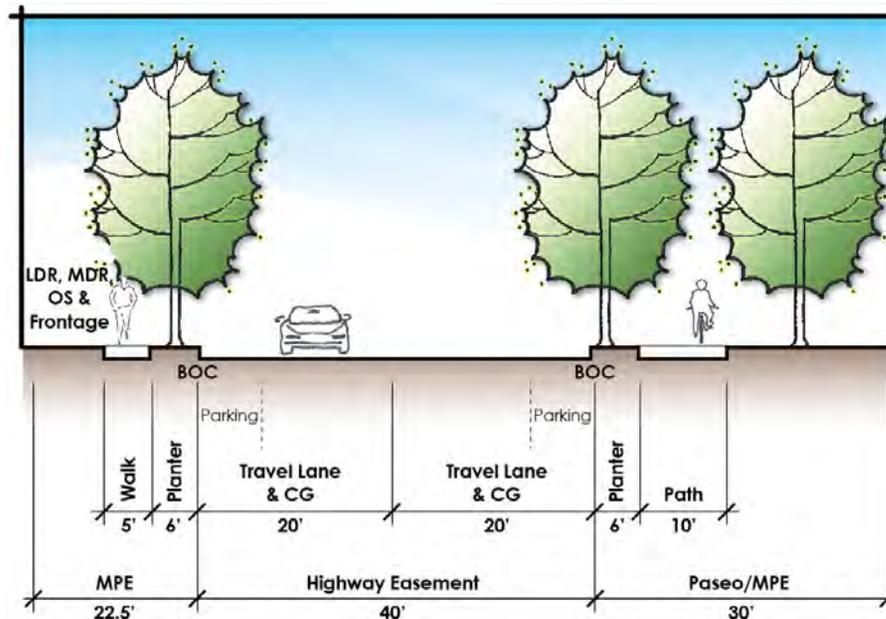
Although locations are not specified on the Roadway Key Map, the Minor Residential Street design section is planned for most residential villages within the Plan Area. Two design sections are provided: One with an attached sidewalk and one with a detached sidewalk. Both include two travel lanes and accommodate on-street parking.



Notes:

1. Where adjacent to single-family residential uses with individual driveway access, sidewalks may be monolithic.
2. Type 1 rolled curb and gutter is permitted adjacent to single-family residential uses with individual driveway access.
3. 10' Class I corridor trail required at Park and School frontages. Location may vary within MPE.

FIGURE 7-9: MAJOR RESIDENTIAL STREET (WITH DESIGNATED ON-STREET PARKING)



Notes:

1. For the paseo along the frontage of LDR Parcel PR-03, a masonry wall is permitted between paseo edge and residential land uses.
2. Individual residential driveway access not permitted through paseo. Where adjacent to single-family residential uses with individual driveway access, sidewalks may be monolithic.
3. 10' multi-use path required along Park frontage. Location may vary within MPE.

FIGURE 7-10: PRIMARY RESIDENTIAL STREET (INCLUDING PASEO FRONTAGE)

07 streets & multi-use trails

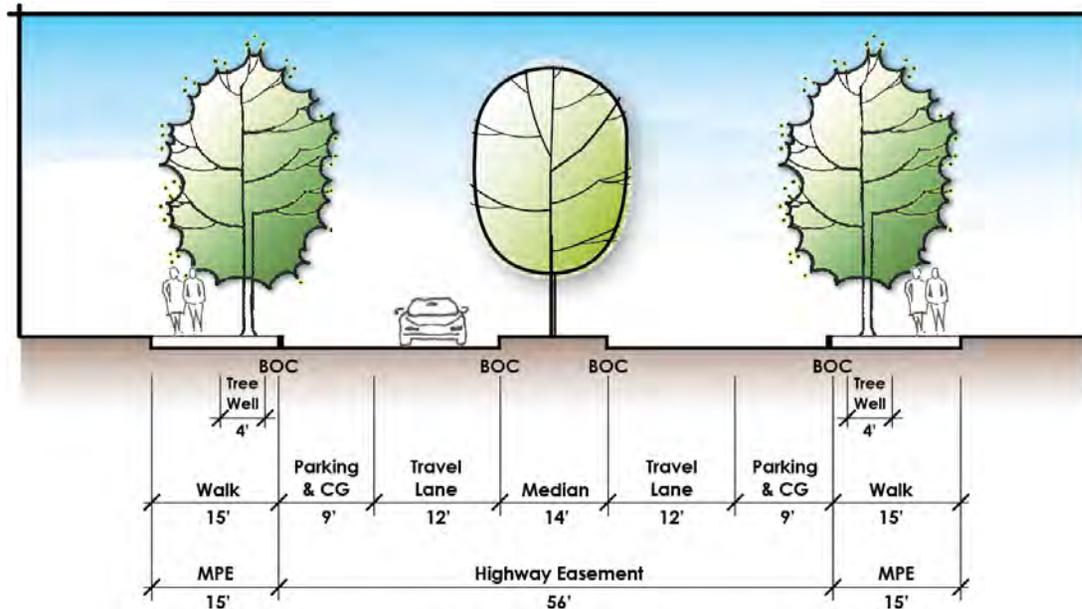


FIGURE 7-11A: TOWN CENTER LANE (DESIGN ALTERNATIVE WITH MEDIAN)

Notes:

1. Ultimate alignment of Town Center Lane shall provide a connection between Foothills Boulevard and University Village Drive through Parcels PR-64, PR-65, & PR-66.
2. Along CMU frontages, sidewalk may be increased in width to accommodate outdoor seating/dining areas.
3. A different design standard without a median may be approved for Town Center Lane through Parcels PR-64, PR-65, & PR-66. Any design modification shall maintain on-street parking and wide sidewalks, as approved by the County.
4. Along HDR frontages, if no commercial uses are provided, sidewalk design may consist of an 8'-wide sidewalk separated from the curb by a 7'-wide landscape planter.

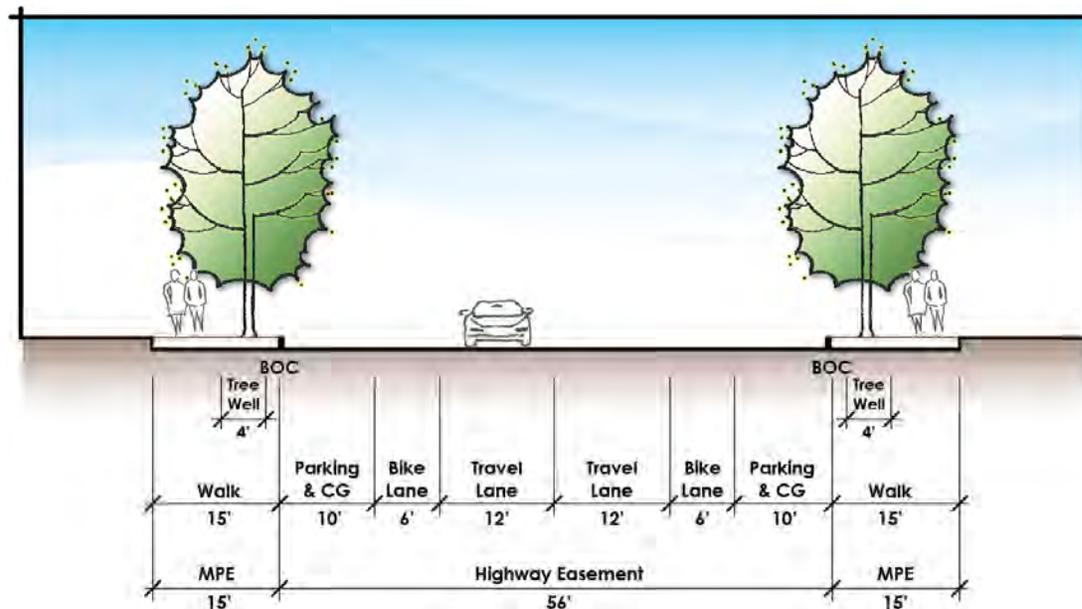


FIGURE 7-11B: TOWN CENTER LANE (DESIGN ALTERNATIVE WITH BIKE LANES)

Notes:

1. Ultimate alignment of Town Center Lane shall provide a connection between Foothills Boulevard and University Village Drive through Parcels PR-64, PR-65, & PR-66.
2. Along CMU frontages, sidewalk may be increased in width to accommodate outdoor seating/dining areas.
3. A different design standard without bike lanes may be approved for Town Center Lane through Parcels PR-64, PR-65, & PR-66. Any design modification shall maintain on-street parking and wide sidewalks, as approved by the County.
4. Along HDR frontages, if no commercial uses are provided, sidewalk design may consist of an 8'-wide sidewalk separated from the curb by a 7'-wide landscape planter.

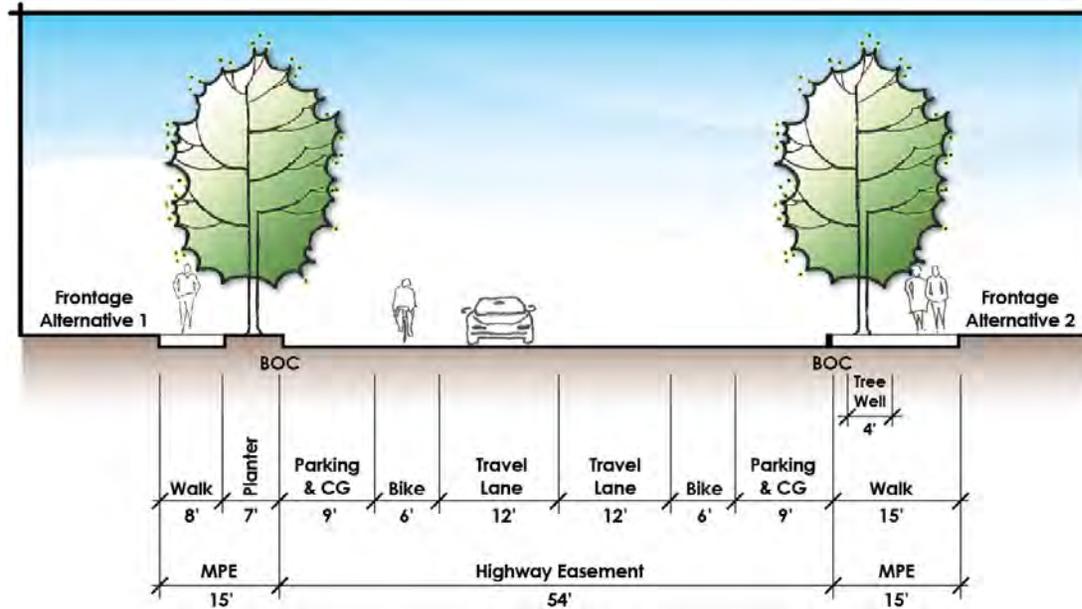


FIGURE 7-12: "D" STREET (NORTH/SOUTH STREET IN TOWN CENTER)

Notes:

1. Along any frontage with first-floor active uses, sidewalk shall conform to Frontage Alternative 2.
2. Along MDR and HDR frontages, sidewalk may be 8'-wide and separated from curb by 7'-wide landscape planter, as shown in Frontage Alternative 1.
3. Along Park frontage, 25' PE/MPE is required. Sidewalk width and location may vary, as approved by Placer County Parks.

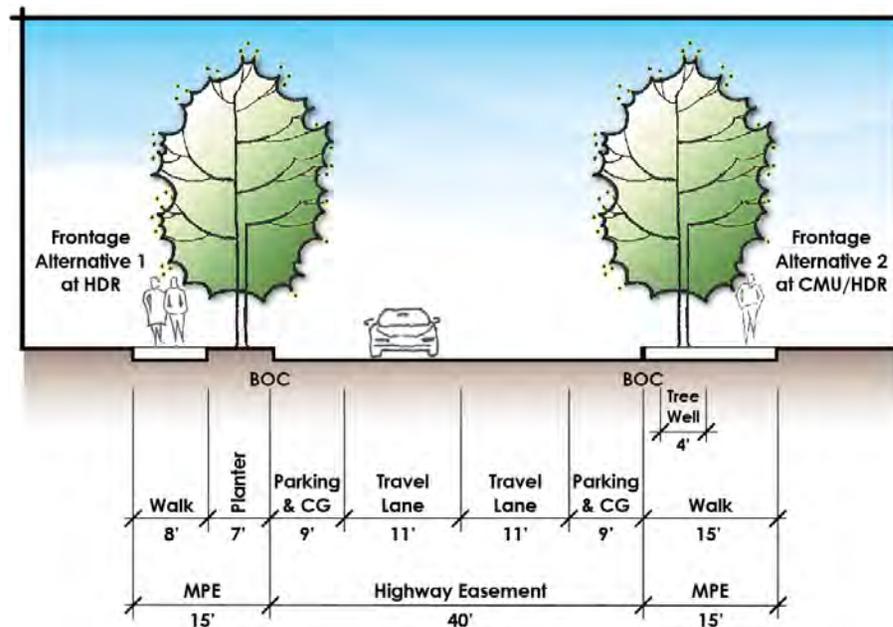


FIGURE 7-13: TOWN CENTER LOCAL STREET (TYPICAL DESIGN)

Notes:

1. Along any frontage, sidewalk location/design may conform to either option illustrated in this design section.
2. Along MDR and HDR frontages, sidewalk may be 8'-wide and separated from curb by 7'-wide landscape planter.
3. Along Park frontage, 25' PE/MPE is required. Sidewalk width and location may vary, as approved by Placer County Parks.

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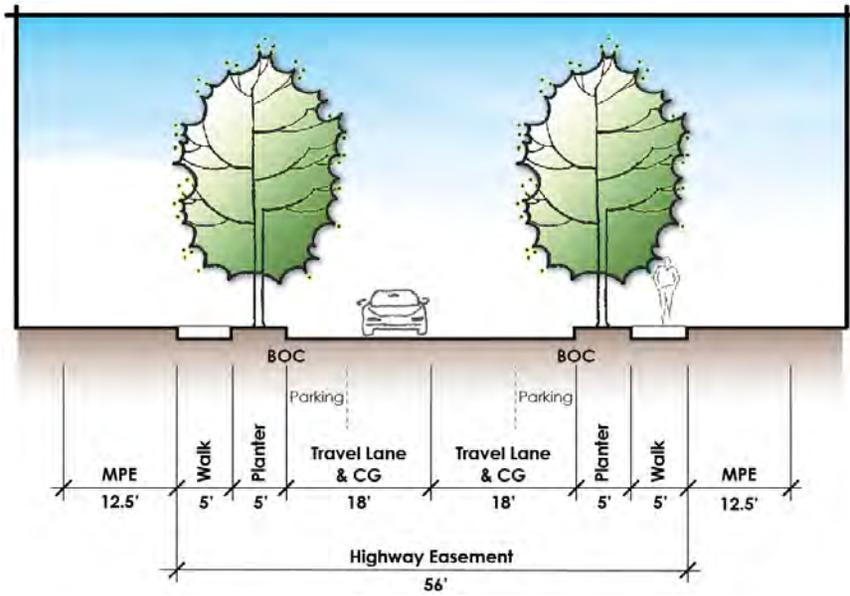


FIGURE 7-14: MINOR RESIDENTIAL STREET (WITH DETACHED SIDEWALK)

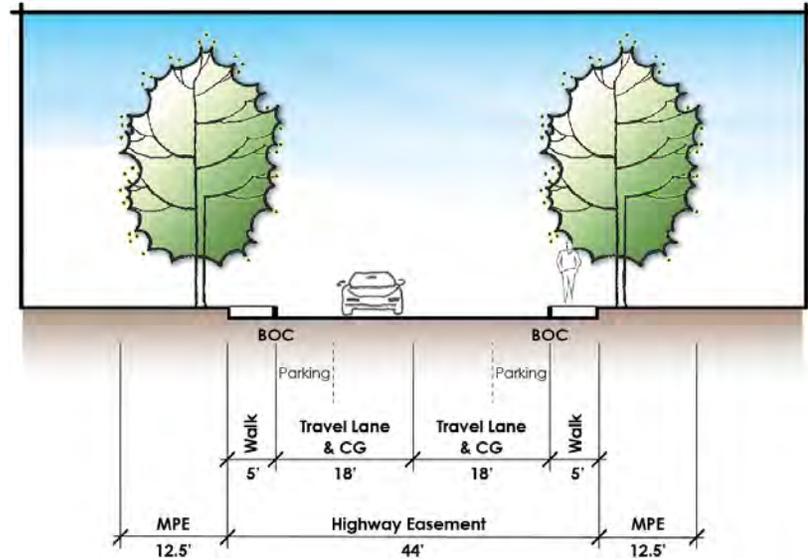


FIGURE 7-15: MINOR RESIDENTIAL STREET (WITH ATTACHED SIDEWALK)

E. Supplemental Street Design Standards

INTERSECTION CORNER CLIPS

As part of roadway design, auxiliary lanes such as turn pockets, acceleration/ deceleration lanes/ tapers, and bus turnouts are often needed at street intersections. To ensure that these features do not significantly degrade the landscape corridors at street intersections, a typical design standard is provided for corner clips. The intent is that these elements can be accommodated at street intersections while maintaining a high-quality streetscape appearance. The minimum design standards for intersections, including a typical design for a corner clip, is illustrated in Figure 7-16. Corner clip design may vary provided that the variation(s) maintain a comparable space for landscaping, entry features, and similar elements at the street corner.

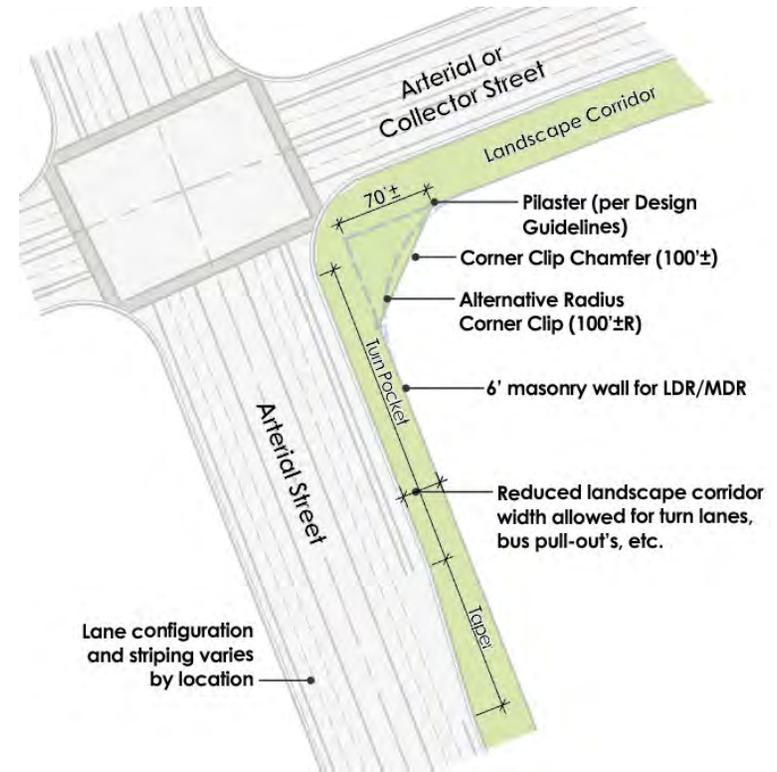
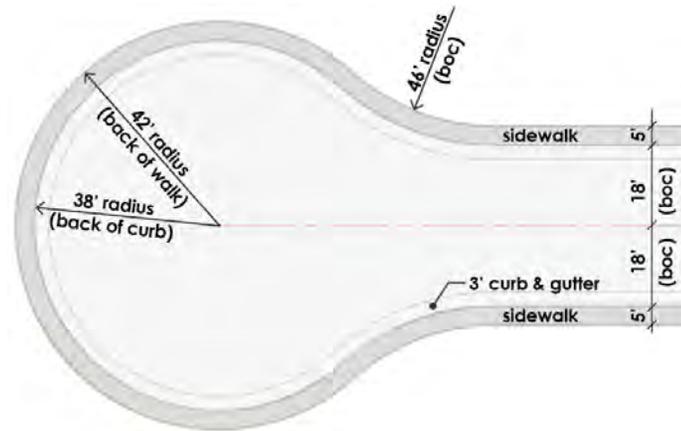


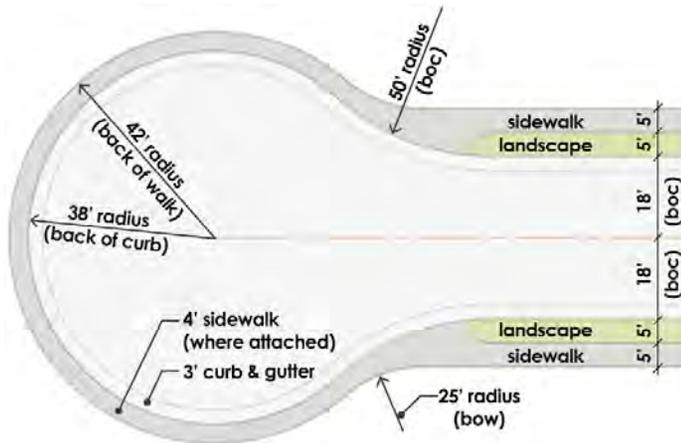
FIGURE 7-16: CORNER CLIP DESIGN STANDARD

CUL-DE-SACS AND ELBOWS

In residential neighborhoods, the use of cul-de-sacs and elbows is a common street design feature. The PRDS includes two design standards for each of these elements; one for streets with attached sidewalks, and one for streets with detached sidewalks. These standards are illustrated in Figures 7-17 and 7-18.

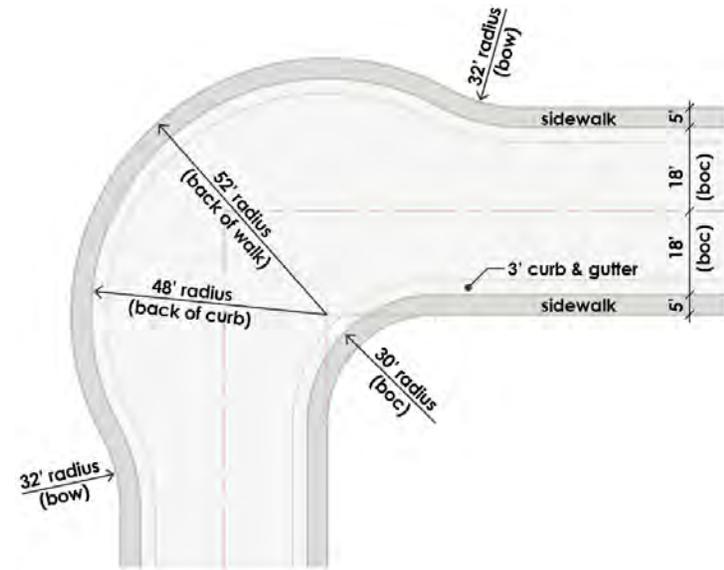


Cul-de-sac with Attached Sidewalk

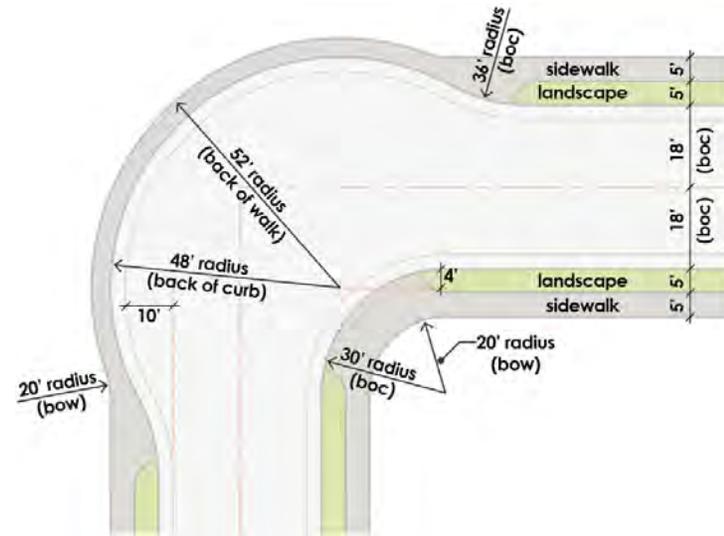


Cul-de-sac with Detached Sidewalk

FIGURE 7-17: CUL-DE-SAC DESIGN STANDARDS



Elbow with Attached Sidewalk



Elbow with Detached Sidewalk

FIGURE 7-18: ELBOW DESIGN STANDARDS

07 streets & multi-use trails

ROUNDABOUTS

Roundabouts are circular street intersections where automobiles travel around a center island in a counterclockwise direction. These features are generally used on collector or local roadways and do not include any stop controls. The intent is to improve intersection efficiency by slowing traffic at street intersections, while keeping traffic flowing and allowing for convenient pedestrian crossing.

Roundabouts are permitted at street intersections on collector and local streets where traffic conditions warrant, subject to review and approval by the County. Some potential locations for roundabouts in the Town Center district are shown on Figure 7-2 in the PRDS, however they may be constructed in other locations, such as the residential districts west of Fiddymont Road. A design concept for a collector/local street roundabout is illustrated in Figure 7-19.

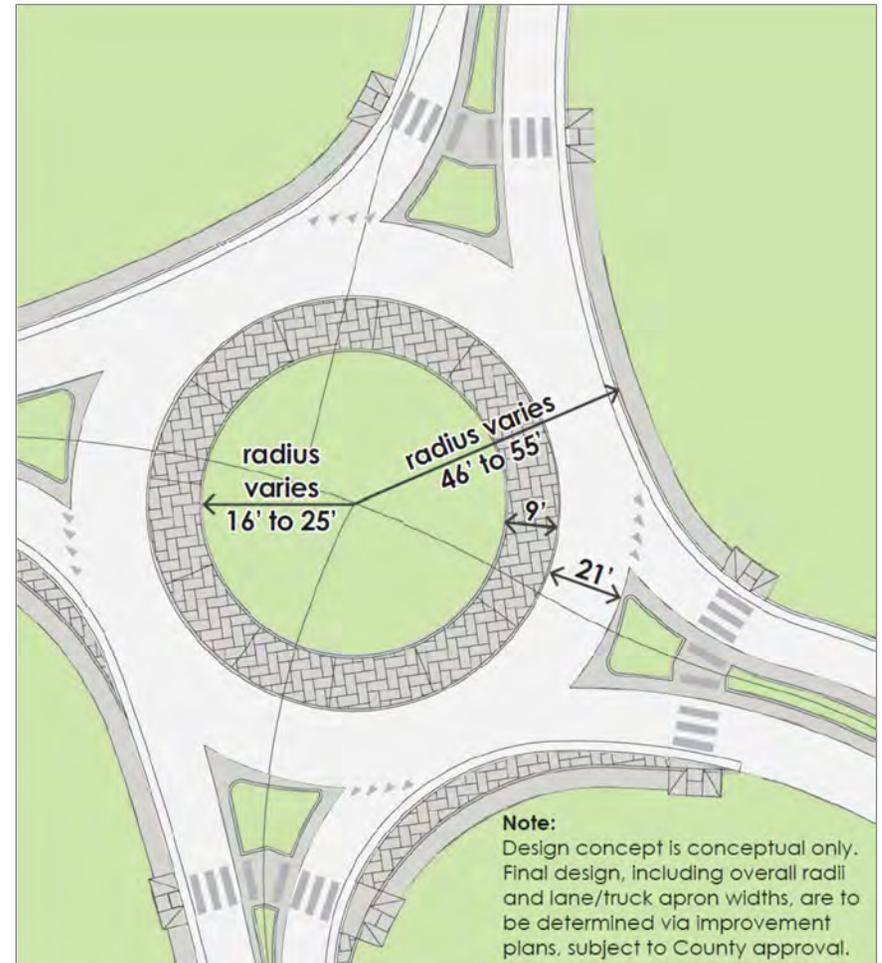
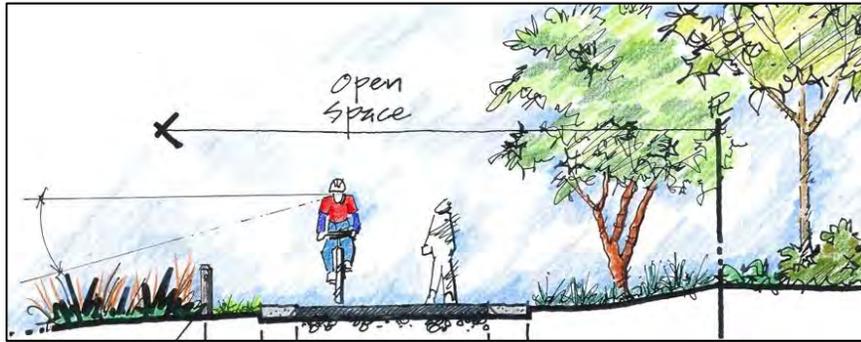


FIGURE 7-19: ROUNDAABOUT DESIGN CONCEPT

F. Multi-Use Trail Design Standards

Placer Ranch's bicycle and pedestrian system consists of a network of multi-use Class I Trails that link together the community's residential neighborhoods, the Campus Park, the Town Center, the university site, and recreational hubs. Class I facilities consist of street-separated, paved, trails that are shared among bicyclists and pedestrians. The Class I trails are augmented by a network of on-street Class II bike lanes, which are planned in arterial and collector roads, as illustrated in the preceding street sections.

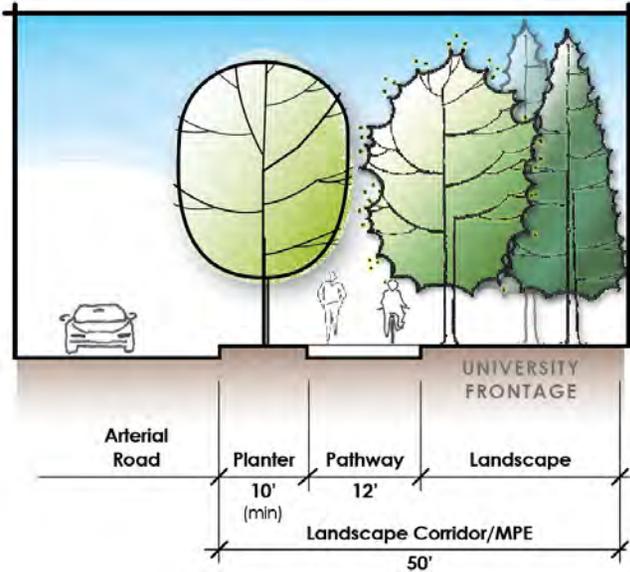


For parcels with a GC, HDR, or MDR land use designation, bicycle racks or lockers shall be provided in the quantity required by the Placer County Zoning Ordinance, Section 17.54.050, and should be located in highly visible and convenient areas.

Several types of multi-use Class I Trails are planned, which all have a minimum 10'-wide dimension. Design sections for these trails are illustrated in Figures 7-20 through 7-23 and are summarized below:

- **University Perimeter Pathway (Figure 7-20):** This facility is aligned along the perimeter of the university site, creating a continuous corridor that links the community with the campus' internal circulation system. Its primary function is to collect and disperse bicycle commuters and pedestrians to and from access points surrounding the campus. The pathway's design is 12'-wide to accommodate a large volume of users anticipated with shared use by students, faculty, commuters, and community residents.
- **Class I Trail (Figures 7-21 & 7-22):** These bikeway/pedestrian facilities are located within both open space preserves and open space paseo parcels. Its design is comprised of a 10'-wide paved trail with a DG shoulder (either one 4'-wide shoulder or two 2'-wide shoulders). In the open space preserves, the Class I trails function as a recreational amenity in the natural, undeveloped edges of the community, linking residential neighborhoods, shopping centers, and the university site. Where open space paseos are planned in the University Creek Neighborhood and the Town Center, Class I trails enhance connectivity to the community's districts from within residential neighborhoods. This network provides a Class I trail access point to most residential neighborhoods in Placer Ranch.
- **Class I Corridor Trail (Figure 7-23):** Along major roadways, landscape corridor sidewalks are upsized to function as a Class I facility. Consisting of a 10'-wide paved path, these facilities provide direct access to employment hubs and retail centers.

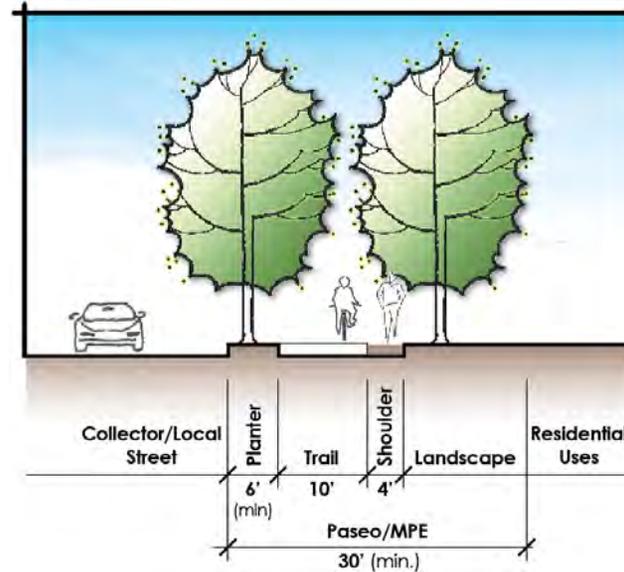
The location of all multi-use Class I Trails is illustrated on Figure 7-24.



Notes:

1. Pathway may meander in landscape corridor along university site frontage.
2. 10'-minimum planter width required adjacent to back of curb, except where monolithic sidewalk is monolithic.

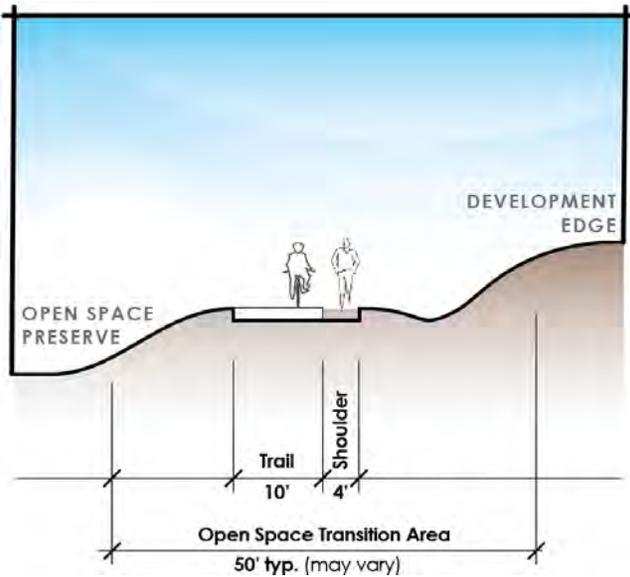
FIGURE 7-20: UNIVERSITY PERIMETER PATHWAY



Notes:

1. Trail may meander through paseo.
2. 6'-minimum planter width required adjacent to back of curb.
3. Shoulder to consist of decomposed granite or similar material, as approved by County.
4. Shoulder design may consist of two, 2'-wide shoulders on either side of trail, as approved by County.

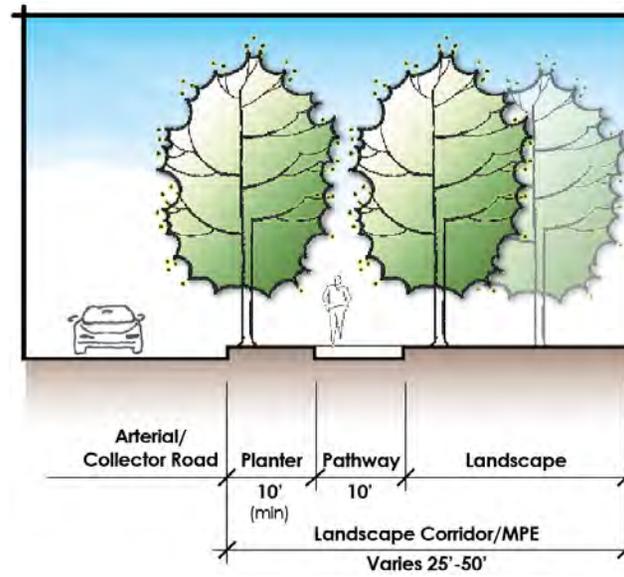
FIGURE 7-22: CLASS I TRAIL IN PASEO



Notes:

1. Trail may meander in response to site grading, storm water elements, or other features.
2. Shoulder to consist of decomposed granite or similar material, as approved by County.
3. Shoulder design may consist of two, 2'-wide shoulders on either side of trail, as approved by County.

FIGURE 7-21: CLASS I TRAIL IN OPEN SPACE



Notes:

1. Corridor trail may meander in landscape corridor.
2. 10'-minimum planter width required adjacent to back of curb, except where monolithic sidewalk is needed.

FIGURE 7-23: CLASS I CORRIDOR TRAIL

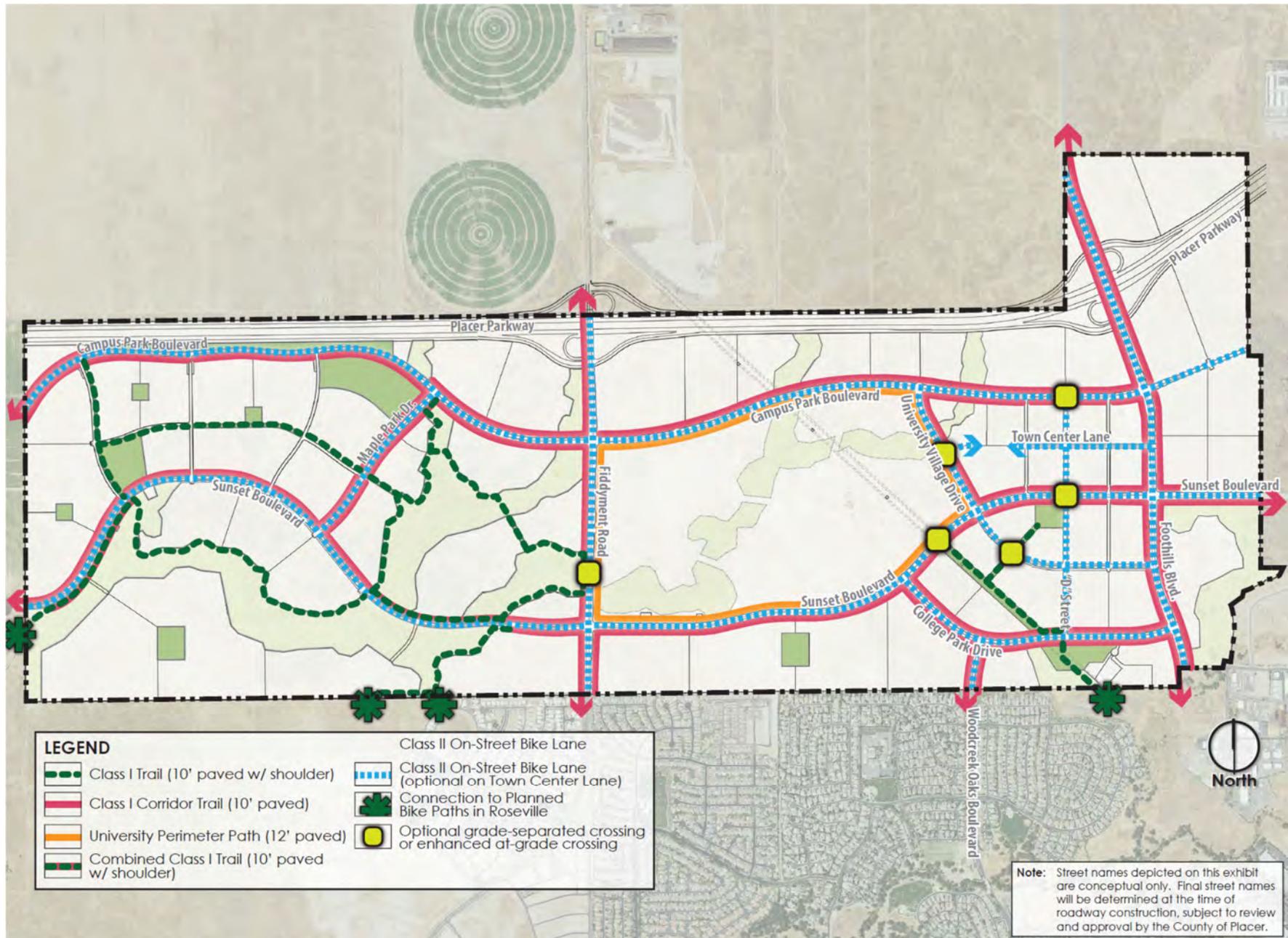


FIGURE 7-24: BICYCLE & PEDESTRIAN MOBILITY PLAN

07 streets & multi-use trails

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PLACER Ranch

Section 08

**COMMUNITY
SIGNAGE**

COUNTY
OF

Placer



Placer Ranch

08 community signage

- A.** Overview
- B.** General Requirements
- C.** Signs for Entry Features
- D.** Auxiliary Signs

08 community signage

A. Overview

Placer Ranch's community signage is required to have a coordinated graphic system that communicates information in an aesthetically pleasing manner. The standards contained herein apply to project signs planned throughout the public realm, excluding signs on the university site. These include signs for entry features and auxiliary signs. Where the PRDS is silent, for instance, signs identifying businesses, office complexes, or commercial centers, applicable standards in the Sunset Area Plan and Placer County Code shall apply.

B. General Requirements

The community signage standards in this section are intended to provide visual consistency among sign types throughout Placer Ranch's public realm.

THEME FOR COMMUNITY SIGNAGE

These signage standards are a method of describing the desired result but still maintaining a degree of flexibility. This section establishes minimum standards for signage to create a unifying sense of place throughout Placer Ranch. Prior to construction of community signage, a master sign program and associated design palette shall be developed that addresses the following for all sign types:

- A master design palette and sign program shall be developed that establishes a thematic concept for all community signage, including the size for monuments and lettering, which ensures that signage utilizes a uniform palette of building materials, finishes, and colors, resulting in a consistent plan-wide appearance. The sign program may deviate from requirements in this section, subject to County approval.
- Design requirements for various sign types shall specify a consistent theme, and each sign type shall be sized in a hierarchy ranging from community gateway entrance signage as the largest sign type to neighborhood entry signs as the smallest sign type. Design requirements shall also be specified for auxiliary signs.
- All signs shall incorporate thematic design elements that are reflective of Placer Ranch's civic nature and higher-education uses, which are selected from the master design palette.

- Landscaping at the base of all of all signs should be designed as an integral design component of adjacent landscape corridor plantings.

GENERAL SIGNAGE STANDARDS

All signs shall be designed to satisfy the following standards:

- Signage shall utilize high-quality, durable materials that will endure outdoor seasonal conditions and resist vandalism.
- Signs and sign lettering are encouraged to be monolithic, flush mount channel letters, flush mount masonry, metal wall panels/plaques or panels/plaques.
- Lettering on signs shall be proportional to the sign and shall be in a font and style that is uniform in the signage throughout the Plan Area. This standard does not apply to street signage.
- A Placer Ranch community logo may be incorporated in signage.
- All sign elements on pilasters or walls shall use mounting hardware securely embedded into the surface onto which it is affixed.
- Any lighted sign shall be illuminated only by continuous and stationary light sources. If the light sources are external to the sign or are otherwise physically detached from the sign, they shall be directed at the sign so that only the sign face is illuminated.
- Where signs and monuments are to be up-lit, such lighting equipment shall be designed to resist vandalism.
- Signs shall be maintained in good condition, always clean and free from graffiti or other disfigurements.
- Surrounding landscaping should be maintained to allow for visibility and to enhance the sign face and structure. Plantings surrounding the sign should relate the sign with the landscaping.
- Signs shall be located such that there is no sight distance interference with automobile drivers.
- In conjunction with improvement plans, community sign construction shall be subject to a sign permit application and shall be reviewed by the Development Review Committee for compliance with the PRDS community signage standards and the master design palette.

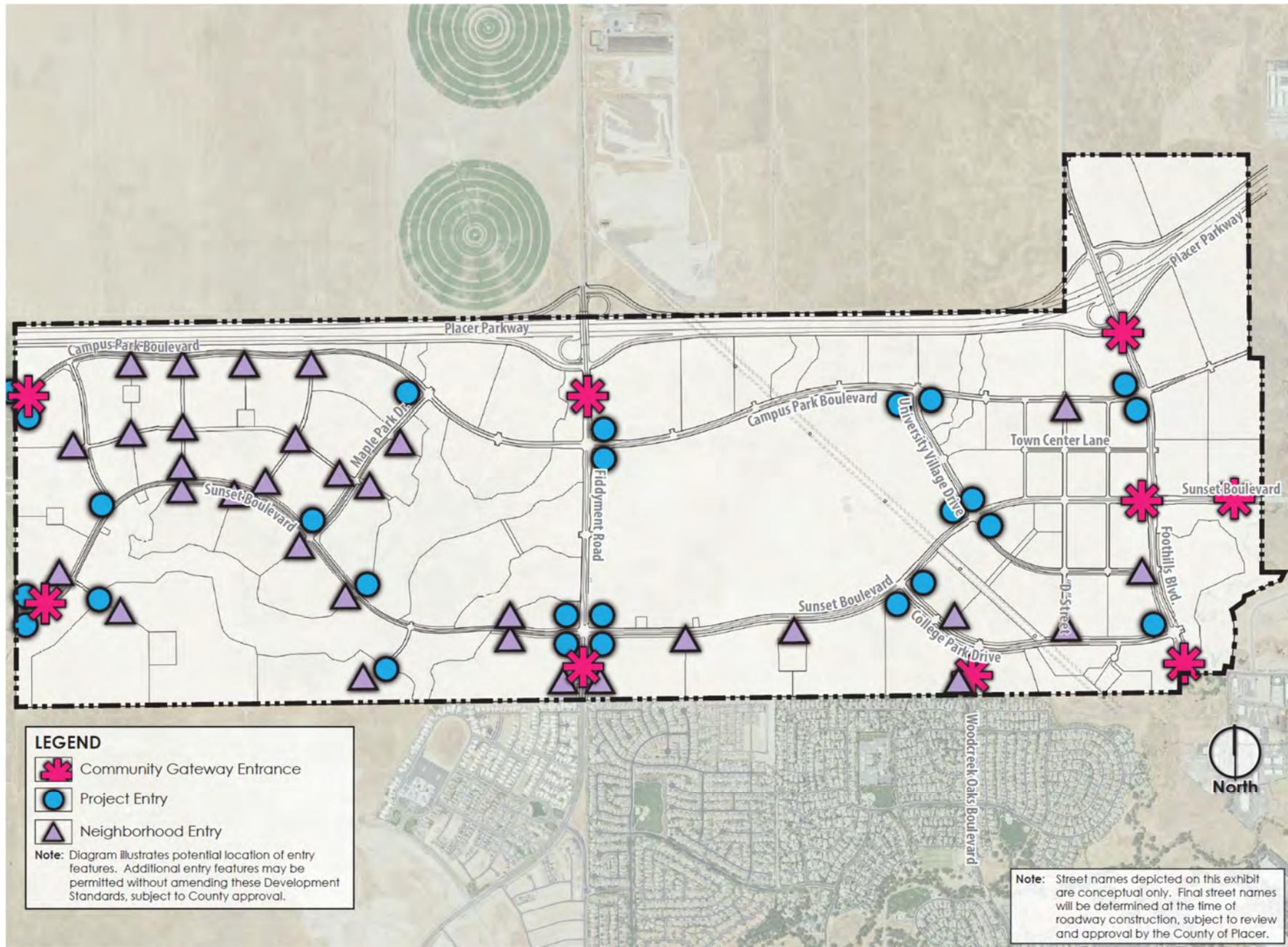


FIGURE 8-1: ENTRY FEATURES SIGN LOCATIONS

08 community signage

C. Signs for Entry Features

Entry features are visually prominent elements of the public realm that assist in wayfinding, create a sense of arrival, or identify districts within the community. Sited at key locations throughout the Plan Area, these features have a unified design that is derived from the design guidelines for entry features outlined in the Placer Ranch Design Guidelines (PRDG).

A hierarchy of signs is specified that correspond with the three types of entry features. The location of each sign type is illustrated on Figure 8-1.

COMMUNITY GATEWAY ENTRANCE SIGNAGE

Community gateways are the most significant in the hierarchy of entrance features in the Plan Area, and as such, have the most visually pronounced signage. The purpose of this sign type is to identify the major entry transitions into the Placer Ranch community. As such they are sited at primary site access points along major roadways.

All community gateway entrance signs shall comply with the following standards:

- Community entrance signage shall be located to identify key entry points into Placer Ranch, at the intersection of major roadways including Placer Parkway, Fiddymont Road, Foothills Boulevard, and Sunset Boulevard.
- The size, scale, and massing of signs shall be consistent with the design concept for Community Gateway Entrances provided in the PRDG.
- Sign features shall be constructed of concrete materials and clad with a combination of plaster, brick, and metal accent materials selected from the master design palette, consistent with the design concept illustrated in the PRDG.
- The maximum height of a community entry sign shall be 20'.
- The sign display area on a community gateway entry feature shall be limited to 50 sq. ft. and lettering within the display area shall not exceed 48" in height.

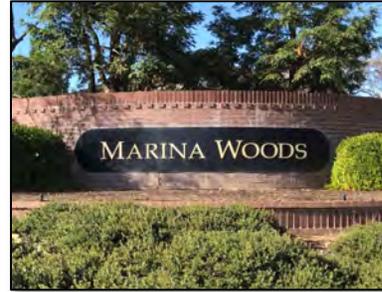


PROJECT ENTRY SIGNAGE

Project entry features are smaller in scale than community gateway, but function similarly and include identification signage that is in scale to the entry feature. They visually reinforce the streetscape theme and announce arrival to large neighborhood units or community districts. These features are planned at high-visibility street intersections and at transition points between community districts. Project entry signs may be located in landscape corridors and medians, and at street intersections, they should be sited in corner clips where provided.

All project entry signs shall comply with the following standards:

- Project entry signage shall be located to identify entrances into larger neighborhood units (such as an active adult community) or into community districts (such as the Town Center).
- The size, scale, and massing of signs shall be consistent with the design concept for Project Entries provided in the PRDG.
- Sign features shall be constructed of concrete materials and clad with a combination of plaster, brick, and metal accent materials selected from the master design palette, consistent with the design concept illustrated in the PRDG.
- The maximum height of a project entry sign shall be 10'.
- The sign display area on an project entry shall be limited to 35 sq. ft. and lettering within the display area shall not exceed 30" in height.



08 community signage

NEIGHBORHOOD ENTRY SIGNAGE

Neighborhood entry features are the smallest in the hierarchy of Placer Ranch's entry features and incorporate signage that identifies individual residential neighborhoods.

All neighborhood entry signs shall comply with the following standards:

- Neighborhood entry signs shall be located in a landscape corridor or median island at a residential village entrance points, and not within single family residential lots.
- The size, scale, and massing of signs shall be consistent with the design concept for Neighborhood Entries provided in the PRDG.
- Sign features shall be constructed of concrete materials and clad with a combination of plaster, brick, and metal accent materials selected from the master design palette, consistent with the design concept illustrated in the PRDG.
- The maximum height of a neighborhood entry sign shall be 10'.
- The sign display area on a neighborhood entry shall be limited to 25 sq. ft. and lettering within the display area shall not exceed 18" in height.
- Lettering on sign faces shall be limited to the neighborhood name, a Placer Ranch community logo, and/or the street name.
- Sight line considerations shall be considered in locating signage.



D. Auxiliary Signs

DIRECTIONAL SIGNS

Directional signs assists in navigation and in locating community waypoints and destinations, such as the Town Center, the Campus Park, or the University. Directional signs shall be located near major intersection or decision points along the streets or paths.

Directional signs shall comply with the following standards:

- Signs may be located in a landscape corridor, median, or entrance median island along roadways.
- The signage shall not be located where it will impair the visibility for passing motorists, pedestrians, or cyclists.
- The size, scale, and massing of signs shall be consistent with the design concept for Directional Signs provided in the PRDG.
- Sign features shall be constructed of concrete materials and clad with a combination of plaster, brick, and metal accent materials selected from the master design palette, consistent with the design concept illustrated in the PRDG.
- The maximum height of a directional sign shall be 10'.
- The aggregate sign display area on a directional sign shall be limited to 50 sq. ft.
- Lettering within the sign display area shall not exceed 18" in height on arterial and collector streets, or 12" in height on local streets.
- Lettering on the sign shall be limited to a Placer Ranch community logo, feature identification, directional symbols, and/or the street name.
- Signage shall not include more than six directional location listings.
- Landscaping shall be incorporated at the base of the sign to link the signage to the natural landscape.



08 community signage

TEMPORARY SIGNS

Temporary signs for marketing, leasing, real estate sales, and community identities are permitted subject to the following standards:

- Sign faces shall not be any greater than 6' in height and 8' in width, and shall not be any higher than 8' from the adjacent finish grade.
- Signs shall be constructed of wood, plaster, and/or stone and be designed to reflect a relative degree of permanence.
- Temporary signs, including any permitting requirements, shall comply with Section 17.54.170 of the Zoning Ordinance, except as allowed by these standards.

PROHIBITED SIGNS

Prohibited signs include, but are not necessarily limited to, the following sign types:

- Billboards or any large signs that change regularly.
- Signs that promote any other project or site other than the PRSP (i.e. off-site signage).
- Inflatable signs, icons or logos.
- Animated, flashing or moving signs.
- Signs with exposed fluorescent lighting.
- Signs that are prohibited pursuant to Section 17.54.170.D of the Zoning Ordinance, except where allowed by this section.

REGULATORY SIGNS

Signs that are required to regulate safety aspects such as street speed limits and other advisory traffic signage shall be consistent with Placer County and State of California motor vehicular sign standards. Regulatory signs may include street signs, speed limit signs, access signs, and parking signs.

STREET SIGNS

Street signage shall comply with the following standards:

- Street signage shall identify the names of the streets and other street corridors within Placer Ranch.
- Poles shall be finished in a color to match site furnishings to be used throughout the community, as described in the PRDG.
- Street signs shall meet Placer County Land Development Manual standards.
- Holiday banners and decorations on poles consistent with street signage may be used at parks and recreation centers.

An architectural sketch of a street scene. On the left, a multi-story building with a grid of windows is sketched in blue and black. A tree with sparse leaves stands in front of it. In the center, a street leads towards a building with a flat roof and a balcony. Several figures are sketched walking along the street. On the right, another tree is sketched. The overall style is loose and expressive, using various colors like blue, green, and brown. A large yellow rectangle is positioned on the right side of the image, partially overlapping the sketch and the text.

PLACER Ranch

Section 09

WALLS & FENCES

COUNTY
OF

Placer



Placer Ranch

09 walls & fences

- A.** Overview
- B.** Masonry Walls & Enhanced Wood Fences
- C.** Residential Fences
- D.** Open Space Fences

09 walls & fences

A. Overview

The placement of walls and fences throughout Placer Ranch is intended to provide screening between different land uses, create a transition between developed areas and open space preserves, and provide privacy and security for private property. Throughout the community, wall and fence design varies depending on location and intended function. The standards in this section shall guide the placement and design of the various wall and fence types.

Prior to construction of walls and fences along backbone roadways, a master design palette shall be developed to establish a theme for Placer Ranch's landscape architecture, which addresses the following:

- Establishes a uniform palette of building materials, finishes, and colors for all project wall and fence types, resulting in a consistent plan-wide appearance. The theme should reflect the civic nature of Placer Ranch and reinforce the University's stature in the community.
- Design requirements for various wall and fence types shall specify a consistent theme, and each type shall be sized and designed according to visibility along roadways and intended function.

Where applicable, the design and exterior finish of project walls and fences shall comply with the Placer Ranch Design Guidelines (PRDS). The location of each wall and fence type is illustrated on Figure 9-1.



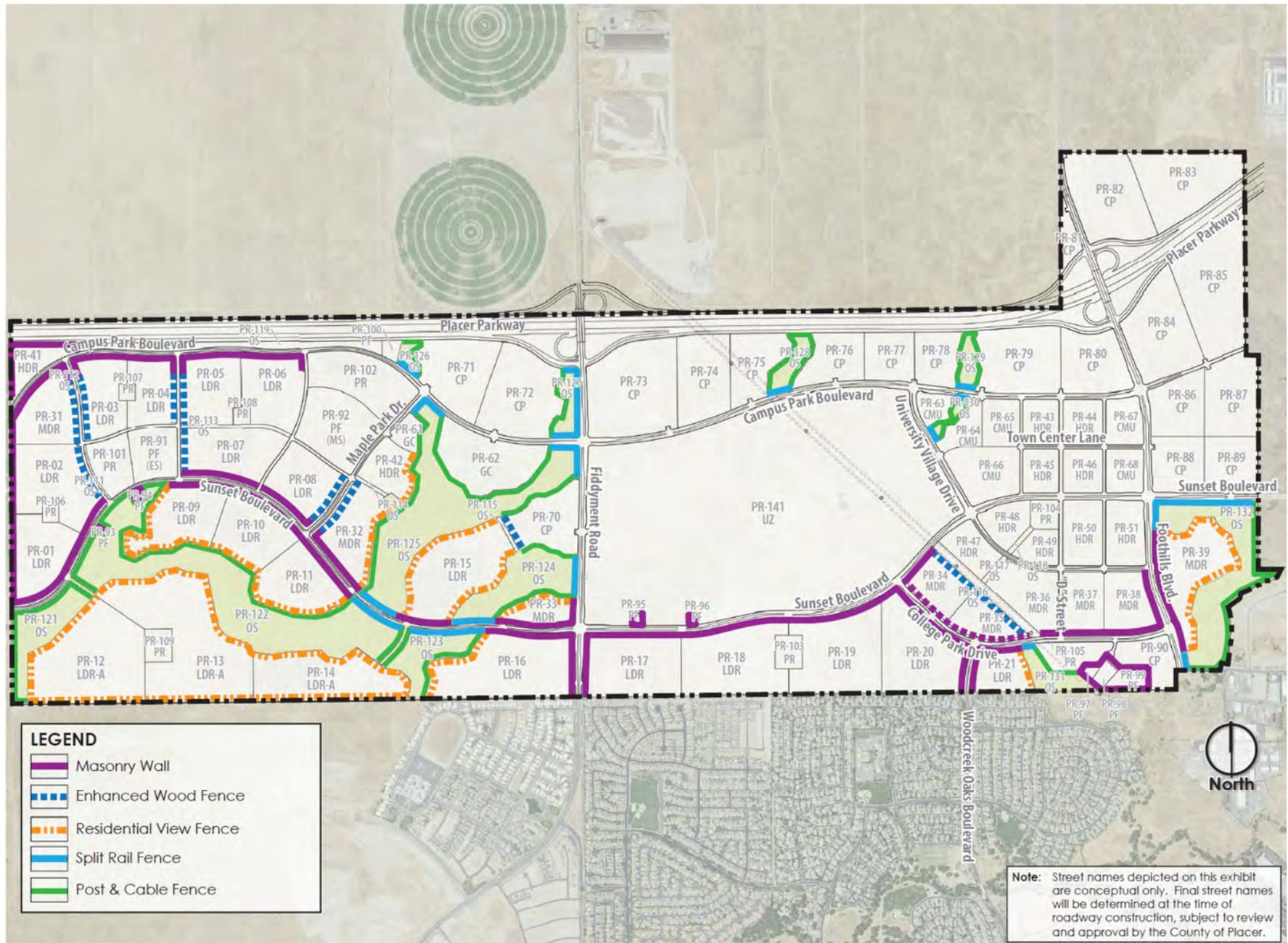


FIGURE 9-1: WALL & FENCE LOCATIONS

09 walls & fences

B. Masonry Walls & Enhanced Wood Fences

Masonry walls and enhanced wood fences are planned in several locations and vary by function. Masonry walls are provided along major roadways such as Fiddymont Road and Sunset Boulevard, where they are needed for sound attenuation adjacent to residential uses. Enhanced wood fences may be used at residential interfaces with parks and paseos, and along collector and local streets where traffic volumes do not warrant sound attenuation.



The following design standards shall apply to the use of masonry walls and enhanced wood fences:

- Walls shall be constructed of durable, long-lasting materials such as masonry and shall provide adequate sound attenuation where required by the EIR MMRP.
- The materials, finishes and colors of walls, pilasters, top stone, and ancillary features shall be consistent with the master design palette and applicable guidelines in the PRDG.
- Brick pilasters shall be incorporated into wall/ fence design and may include embellishments such as community logo (not sign). Pilasters shall be placed at transition points where walls change direction, at village entrances, and as needed to reinforce the landscape architecture theme described in the PRDS.
- Walls and pilasters shall incorporate a decorative cap or top stone.
- Enhanced wood fences shall be constructed of redwood or cedar and stained a color that complements the theme of Placer Ranch's landscape architecture, as described in the PRDS.
- Wood fencing shall be finished on both sides with the side visible to the public given the greater emphasis.
- Height of walls and fences shall not exceed 6'-high unless variation is warranted by site terrain or by the requirements of a site specific noise analysis. Pilasters and decorative caps on walls may extend higher.
- Where fences are constructed on slopes, height shall be measured from the highest ground plane adjacent to the fence.
- Walls that are stepped to address elevation changes shall have vertical increments that do not exceed 24".
- Opportunities for wall openings between land uses should be included where appropriate to encourage pedestrian connection/access between land uses (i.e. between residential and commercial sites and between residential neighborhoods).
- Walls shall comply with the Flood Damage Prevention Regulations, Placer County Code Article 15.52, and the Placer County Landscape Design Guidelines except where modified by these standards.

C. Residential Fences

Different fencing types are planned in Placer Ranch's residential neighborhoods to provide privacy between housing units, security, and to act as a barrier between different land uses. Different fence types are described in this section.

Examples of different types of residential fencing is illustrated in the imagery provided herein. Final fence design shall comply with the PRDG and the forthcoming master design palette. All residential fencing is required to comply with the standards herein.

GENERAL RESIDENTIAL FENCE STANDARDS

The following standards apply to all residential fence types:

- The materials, finishes and colors of residential fencing shall be consistent with the master design palette and applicable guidelines in the PRDG.
- Fences, walls, or hedges located along side yard or rear yard lot lines shall not exceed 6'-high. In addition, pilasters and decorative caps may extend higher than the height limitation of the fence.
- Side yard fences and walls shall be permitted 5' from the side of a building, not within a front setback.
- Front yard fences, walls, or hedges shall not exceed 3½'-high except if located outside the setback at the front of the building, where the maximum 6'-high.
- Fences, walls, hedges, signs, artwork, or any other structure or landscape material located on corner lots shall not exceed 3' above the nearest street curb or be placed in such a way as to obstruct the site distance along adjoining streets.
- Garden or patio fences less than 3½'-high are permitted within front yard setbacks.
- Where fences are constructed on slopes, height shall be measured from the highest ground plane adjacent to the fence.

RESIDENTIAL PRIVACY FENCES

Two designs for privacy fences are permitted on residential lots. Each design shall be used based on its visibility from streets and placement within the neighborhoods, as noted below:

- **Enhanced Privacy Wood Fence:** This fence type shall be used where residential lot edges face a residential street. Enhanced wood fences incorporate a base and top rail, with encased fence boards between posts, to create an identical appearance on both sides.
- **Standard Privacy Wood Fence:** This fence type shall be used on shared property lines between residential lots. Fence design is simpler than the Enhanced Privacy Wood Fence, with alternating fence boards and panels.



09 walls & fences

Standards for Privacy Fences

The following standards shall be applied for residential privacy fencing:

- An enhanced wood fence is required where front, side, or rear yard fencing is directly visible from the street.
- On corner lots, fencing may not be closer than 12.5' to the back of curb, or 5' from the back of walk, whichever is greater and must be located outside of a landscape corridor/MPE where present.
- Standard privacy fences shall be used for screening of residential yards, at property lines and as a wing fence (fences that wrap around to residential units from side yard fence, perpendicular to residential unit), as appropriate.
- Standard privacy fencing is permitted to enclose side and rear yards of interior lots. For lots that abut open space, privacy fencing is only permitted on shared property lines between residential lots and is not permitted adjacent to open space.
- No fencing is permitted in the front yard past the lead edge of the unit, except low courtyard walls (3½-foot maximum height), which may extend up to 10' from back of curb or 5' from back of walk, whichever is greater.

RESIDENTIAL VIEW FENCES

Residential View Fences are planned along residential edges that abut open space preserves. They are designed to be visually penetrable, thereby creating a physical separation between uses while preserving views. Two design options are permitted for residential view fences, which consist of a wrought iron style fence with, or without, a knee wall at the base.

Standards for View Fences

The following standards shall apply to the installation of residential view fences:

- For residential lots that are adjacent to open space uses, open view fences are permitted to enclose the side and rear yards.

- View fences shall be constructed of wrought iron, tubular metal, or similar-appearing material, and may include a CMU knee wall as noted below.
- Where used, knee walls shall consist of masonry that utilizes the same material as walls, as specified in the master design palette and applicable guidelines in the PRDG.
- Wrought iron/ metal elements of these fences shall have a factory-applied finish and have a black color.
- This fence type should incorporate flat caps only.
- Fencing shall be installed as part of the subdivision improvements.



D. Open Space Fences

As illustrated on the land use plan, an extensive open space system is threaded through the community. To limit access to Placer Ranch's open space preserves, two types of open space fences are specified. Both types provide a physical barrier between developed areas and open space preserves, while preserving views into natural spaces. Open space fencing also functions to enclose and protect wetlands and other sensitive areas, as outlined in the U.S. Army Corps of Engineers Section 404 permit.

Examples of different types of open space fencing is illustrated in the imagery herein. The materials, finishes and colors of open space fencing shall be consistent with the master design palette and applicable guidelines in the PRDG.

The application of the two open space fence types are described below:

- **Split Rail Fences:** Split rail fencing is generally located at the back of landscape corridors where arterial and collector streets adjoin an open space preserve. This fence type is more aesthetic in its design and is intended to complement the landscape architecture along major roadway corridors. While primarily used in this manner, split rail fencing may also be used in parks, paseos, and other areas to informally define an edge or create a visual barrier.
- **Post & Cable Fences:** Post and cable fencing consists of metal cable that is strung through low, 6x6 wooden posts.



09 walls & fences

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COUNTY
OF

Placer®

PRELIMINARY
PUBLIC REVIEW
DRAFT 1/24/18

PLACER Ranch

DESIGN GUIDELINES

COUNTY
OF

Placer



Placer Ranch

PLACER Ranch

DESIGN GUIDELINES

APPROVED BY

Placer County Board of Supervisors

Adopted _____

Resolution No. ____

LEAD AGENCY



Community Development Resource Agency

3091 County Center Drive

Auburn, CA 95603

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LIST OF ABBREVIATIONS

| Acronym | Definition |
|----------------|--|
| BOC | Back of Curb |
| BOW | Back of Sidewalk |
| CMU | Commercial Mixed Use |
| CP | Campus Park |
| FTES | Full Time Equivalent Students |
| GC | General Commercial |
| HDR | High Density Residential |
| HE | Highway Easement |
| LDR | Low Density Residential |
| LDR-A | Low Density Residential - Age Restricted |
| LE | Landscape Easement |
| MDR | Medium Density Residential |
| MPE | Multi-Purpose Easement |
| OS | Open Space |
| PE | Pedestrian Easement |
| PF | Public Facilities |
| PL | Property Line |
| PR | Parks & Recreation |
| PRDG | Placer Ranch Design Guidelines |
| PRDS | Placer Ranch Development Standards |
| PRSP | Placer Ranch Specific Plan |
| ROW | Right of Way |
| SAP | Sunset Area Plan |
| SSPC | Sac State Placer Campus |
| TC | Town Center |
| UZ | University |
| WELO | Water Efficient Landscape Ordinance |
| WRSL | Western Regional Sanitary Landfill |

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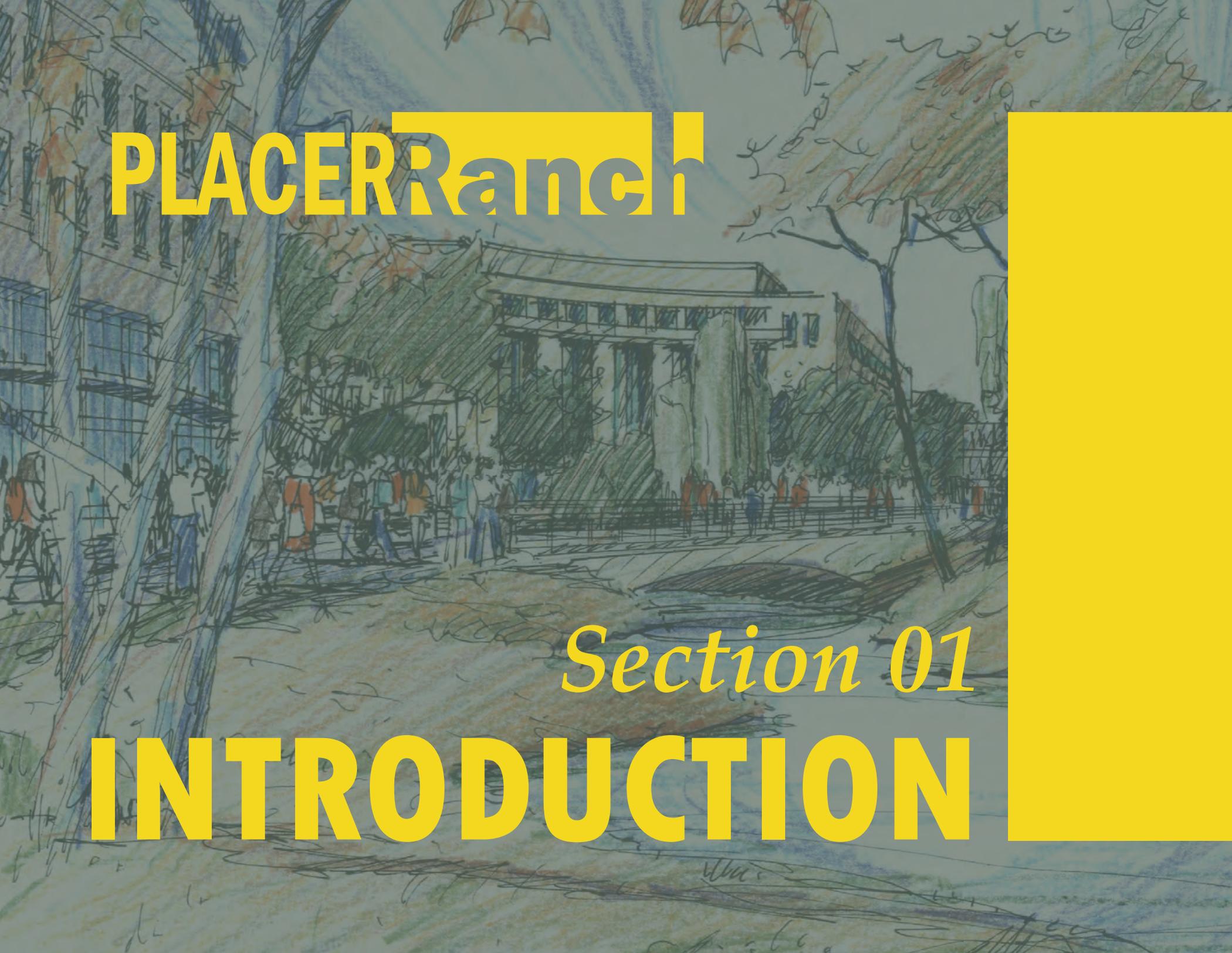
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An architectural sketch of a street scene. On the left is a multi-story building with a grid of windows. In the center is a large, modern building with a flat roof and a prominent entrance. On the right are trees with sparse foliage. People are sketched walking along the sidewalks. The overall style is loose and expressive, using blue, green, and brown tones.

PLACER Ranch

Section 01

INTRODUCTION

COUNTY
OF

Placer



Placer Ranch

01 introduction

- A.** Overview
- B.** Applicability & Intent
- C.** Purpose of Design Guidelines
- D.** Implementation of Design Guidelines
- E.** Design Guidelines Modifications
- F.** Development Plan Review

01 introduction

A. Overview

The Placer Ranch Design Guidelines (PRDG) are provided to help direct the visual character and physical form of Placer Ranch's development, ensuring that it is consistent with the vision outlined in Section 3 of the Placer Ranch Specific Plan (PRSP). This is a companion document to the PRSP and works in conjunction with the Placer Ranch Development Standards (PRDS). Where the PRSP outlines the overarching development plan and the PRDS provides the zoning regulations (setbacks, building height, etc.), the Design Guidelines address the visual aspects of the public realm – what people experience from within the community.

The PRDG provides design guidance for streetscapes, landscaping, neighborhood layout, residential architecture, and other visually-prominent community design elements. It also addresses the urban form and development pattern for commercial and residential buildings in the Town Center district. The intent is to ensure that all elements of Placer Ranch's public realm share a common design thread, which together, create a visually-superior community with a distinctive character and identity in the Sacramento region.

B. Applicability & Intent

The Placer Ranch Design Guidelines are structured to provide clear direction to property owners, County staff, and builders regarding the design expectations for individual development projects. Design criteria are crafted in a manner to ensure that the envisioned urban form and visual aesthetic can be achieved, while also permitting some flexibility. The intent is to encourage creativity and to facilitate high-quality design, allowing discrete development projects to exhibit individuality that upholds the design context of the entire community.

Guidelines are not to be applied as strict standards, recognizing that there are several design options that can achieve quality urban design. In addition, graphics, photos, and other imagery are provided to help illustrate the successful application of various design guidelines, and do not dictate expectations for specific styles or architectural character. Furthermore, the imagery illustrated herein is conceptual, intended only to inspire a well-designed community.



C. Purpose of Design Guidelines

The purpose of the PRDG is to implement the Specific Plan’s vision for creating a flagship community in South Placer. It focuses on creating a place that is distinguished by its uniquely identifiable visual character, with tree lined streets and natural open spaces that create a backdrop for the employment center, urban town center, and university campus.

To accomplish this purpose, the PRDG provide design criteria to establish a coordinated community theme. Community design elements of the public realm are hereby directed to adhere to a common visual character. This will ensure that streetscapes, tree plantings, community identification elements, entrance gateways, street lighting, and other decorative features utilize a coordinated design palette in accordance with the criteria in this section. Over the long-term, as Placer Ranch matures, the community should have a unified appearance that upholds a consistent and thematic visual quality.

D. Implementation of Design Guidelines

Placer County staff is to use the guidelines herein to evaluate the design of all development-related projects in the Plan Area, including improvement plans for landscape corridors, parks, and paseos, as well as development plans for residential and non-residential projects. The PRDG are comprehensive, and therefore, should be used in lieu of any other County-adopted design guidelines for purposes of designing and evaluating the landscaping and architecture within the community. If any provisions contained in the PRDG conflict with those contained in County guidelines, the provisions herein shall take precedence.

E. Design Guidelines Modifications

The Design Guidelines fall under the purview of the Placer Ranch Specific Plan (PRSP). Administration of the PRSP Design Guidelines shall be in accordance with Section 10, Implementation, of the Placer Ranch Specific Plan. This includes any requested interpretations, administrative modifications, and/or amendments to these Design Guidelines, which shall be processed in accordance with the criteria and requirements outlined in PRSP Section 10. Amendments requiring Board of Supervisors’ approval shall be processed as a Specific Plan Amendment, as outlined in Section 10.

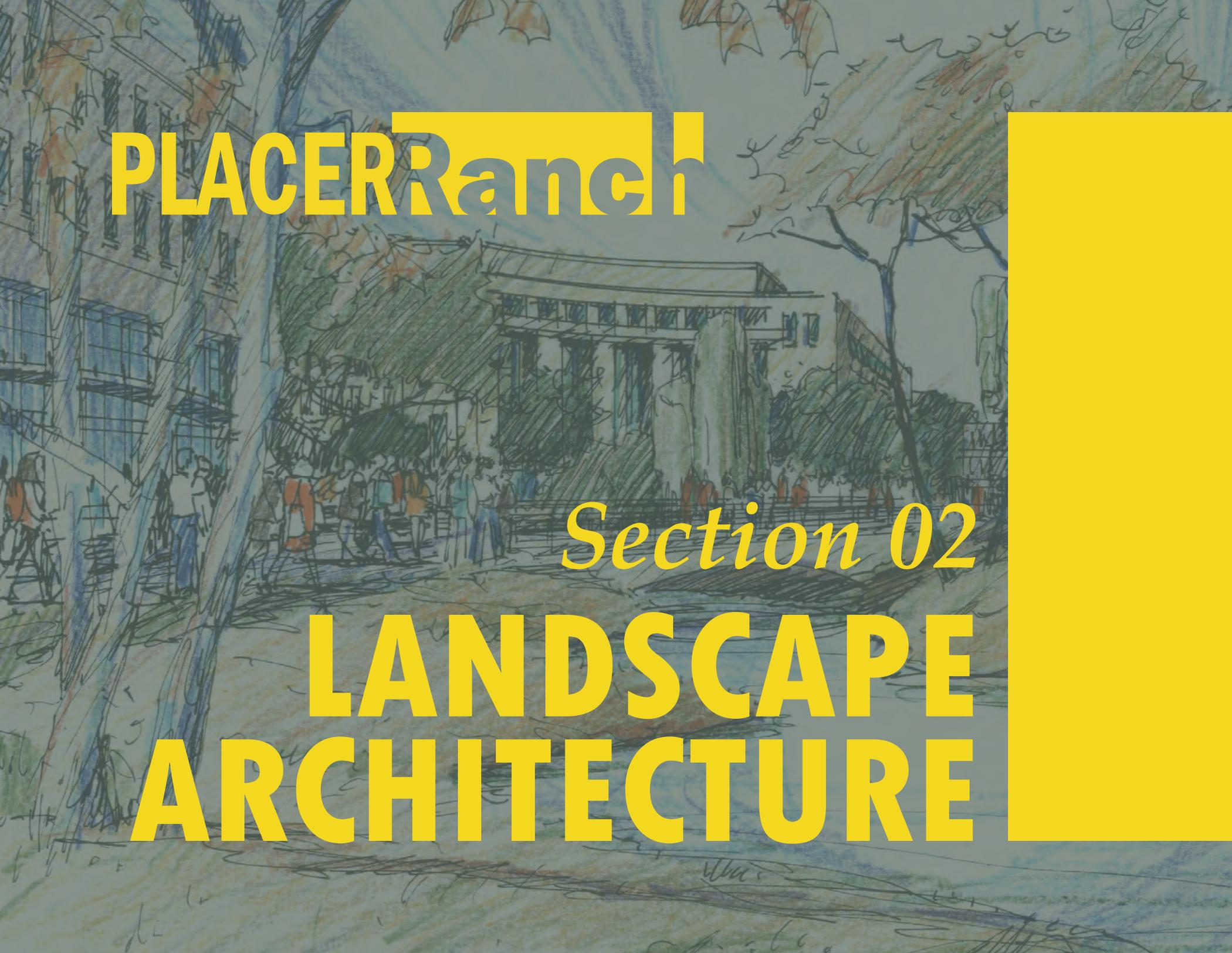
F. Development Plan Review

All development within the PRSP is subject to Development Plan Review, a design review process. Consistent with Section 17.52.070(D) of the Placer County Zoning Ordinance, through the Development Plan Review process, applications for subsequent discretionary permits are approved, conditionally approved, or denied based on consistency with applicable guidelines, in conjunction with applicable provisions in the Specific Plan and Development Standards.

The Placer County Development Review Committee (DRC) is responsible for determining the consistency of any development proposal with the Placer Ranch Design Guidelines, then forming a recommendation to the decision-making body. Based on the type of permit sought, permits are acted on by the Planning Director, Zoning Administrator, or Planning Commission pursuant to the administrative procedures outlined in Article 17.58 of the Placer County Zoning Ordinance.

01 introduction

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PLACER Ranch

Section 02

**LANDSCAPE
ARCHITECTURE**

COUNTY
OF

Placer

Placer Ranch



02 landscape architecture

- A. Overview
- B. Planting Concept
- C. Street Tree Plan
- D. Master Plant Palette
- E. Unique Landscape Design Considerations

02 landscape architecture

A. Overview

Landscape architecture and streetscape design is a community-defining element; a prominent feature that forms Placer Ranch's visual character. These landscaping architecture guidelines establish a planting concept, street tree plan, and master plant palette to ensure that this element of community design unifies the public realm.

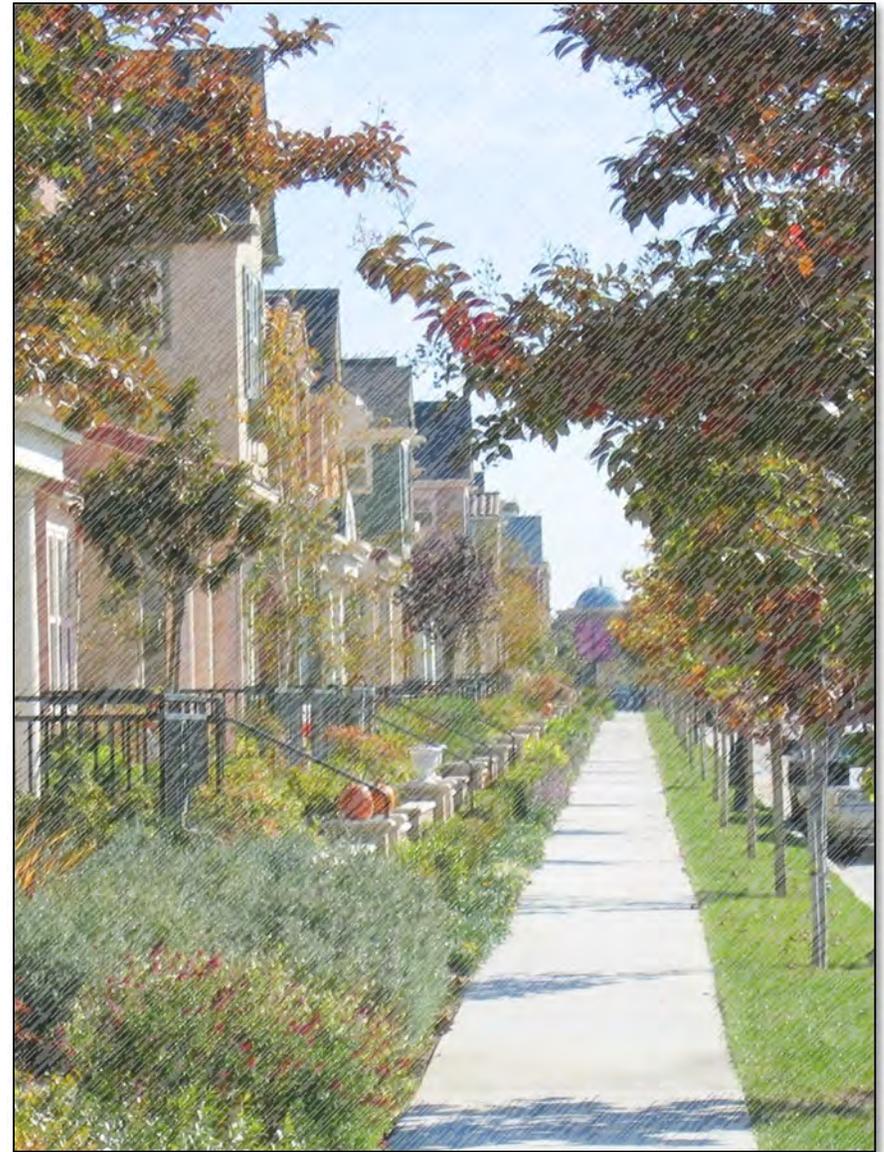
This section primarily applies to major roadway corridors, but should also be used to guide landscape design at prominent features such as neighborhood entries, parks, paseos, and areas that warrant an enhanced landscape treatment. Adherence to these guidelines will ensure that all districts are visually married by a distinctive and uniquely-identifiable landscape theme.

B. Planting Concept

A key defining element of Placer Ranch is its trees. Large-scale trees are to dominate the sight lines of all major roadways, creating a distinctive backdrop to the built environment. A cohesive palette of shrubs and groundcovers augment the selection of street trees, which harmonizes the landscape architecture throughout the public realm.

Streetscapes are further unified by the repetition of hardscape elements, such as entry features, decorative walls and pilasters, thematic fencing, and pedestrian-level landscaping, which utilize materials and colors from a master palette that is unique to Placer Ranch. Along major roadways, landscape corridors and street medians are purposefully large in scale in order to provide space for large trees and extensive landscaping.

All streets are to be landscaped with a combination of trees, shrubs, and groundcover consistent with the planting concepts outlined below. In addition, landscape irrigation must comply with the Placer County Water Efficient Landscape Ordinance (WELO). Elements of the planting concept are illustrated in Figure 2-1.





PRIMARY STREET TREES

Primary street trees are those designated for landscape planters along roadway edges and in medians. The species identified for each street corridor has been selected based on their height, branching characteristics, color, and texture in order to create the envisioned streetscape appearance. Generally, primary trees are of a deciduous variety, with bright leaf coloring that has high contrast with “backdrop” trees. Primary trees are also intended to have vibrant flowering characteristics during the Spring season and/or distinctive color in the Fall. Where a significant tree backdrop is desired, evergreen tree species may also be suitable.

Consistent application of primary street trees will provide scale along various street sections, helping define form and visual character. Special consideration should be given to tree types in high-visibility or special areas, such as the Town Center or at entrance gateways, where a deviation in tree type will visually distinguish these areas within the community.

Primary street trees should be:

- * Large-scale, single-trunk trees with high canopies that grow over the roadway.
- * Selected from the master plant palette, provided later in this section.
- * Spaced 30 to 40-feet on center depending upon species, or a minimum of one per lot along residential streets.
- * Planted from a minimum 15-gallon container.
- * Planted in a regular linear fashion, set back from the curb far enough to accommodate ultimate growth. Root barriers should be installed on trees that are planted within 5-feet of a curb or paved surface.
- * Drought-resistant when established.
- * Where feasible, trees shall be placed on separate irrigation valves from shrubs, groundcovers, and turf to facilitate the appropriate irrigation of trees.
- * Plants shall be planted in hydrozones.
- * Street trees are encouraged to be planted in accordance with Stratavault suspended pavement installation techniques.



London Plane Tree



Red Oak



Evergreen Elm

BACKDROP & ACCENT TREES

Supplementing the strong appearance of primary street trees along the streetscape, backdrop and accent trees enhance the structure of the community’s landscape architectural theme. Backdrop trees provide a strong background and visual transition between roadway corridors and developed areas, while accent trees provide color and visual interest at key transition points, intersections, and gateways. The use of backdrop and accent trees should follow the guidelines below.

02 landscape architecture

Backdrop Trees

Backdrop trees are those located in landscape corridors along roadway edges, but behind the sidewalk, and in the background of the primary trees. Species identified for backdrop trees are selected based on their height, scale, color, and texture in order to provide the envisioned juxtaposition with the primary trees. Typically, backdrop trees are to be an evergreen variety in order to provide a dark backdrop to primary trees, which have a brighter color and leaving characteristics. Backdrop trees also help screen sound walls and create a year-round transition between residential neighborhoods and roadway corridors.

Accent Trees

Accent trees are selected from the same palette of backdrop trees and should be used to provide color and accents at entrance gateways, neighborhood entries, and at points of interest along the streetscape. Median trees at entrance gateways are also considered accent trees, and may duplicate the primary street trees or provide contrast in the median to reinforce a street's landscape theme.

Application of Backdrop & Accent Trees

Backdrop and accent trees should be:

- * Planted in informal fashion as determined by space and tree species.
- * Selected from the master plant palette, provided later in this section.
- * Complementary to the form and color of the primary street tree.
- * Planted from a minimum 15-gallon container.
- * Spaced an average of 20 to 30-feet on center depending upon species, or in equivalent quantities if planted in clusters.
- * Have a root zone character that does not prohibit adjacent plants.

SHRUBS

Shrubs should be used in landscape corridors and medians to provide a visual barrier to fences, walls, and utility equipment, soften the ground plane, and visually link all landscape materials. Shrubs should be:

- * Planted from a minimum 1 to 5-gallon container.
- * Selected according to size, color, texture, and seasonal interest.
- * Placed to not obstruct important pedestrian or vehicular sight lines or threaten pedestrian safety.
- * Selected to minimize food sources for other animals.

GROUNDCOVER

Groundcover should be planted in all portions of landscape corridors, entrance gateways, and/or medians that are not planted with shrubs or otherwise occupied by landscape bark or hardscape. Selection of plant material should consider the pedestrian use of a particular area. High-activity areas, such as the Town Center, parks, and paseos, should utilize turf to the extent feasible while complying with applicable water efficient landscape ordinance requirements. Low-activity areas, such as along major streets, should use a combination of drought-tolerant foliage-type groundcovers and bark.

Use of groundcover should consider the following:

- * To the extent permitted by the Placer County WELO, landscape planters (between a street edge and sidewalk) should utilize turf for a groundcover. Where turf is not feasible, these planters should be landscaped with a low, creeping groundcover that mimics the green appearance of turf and can be irrigated in compliance with the WELO.
- * Non-turf groundcover (or a combination of non-turf groundcover and bark) should be utilized in landscape corridors behind the back of sidewalk.
- * Turf and groundcover areas should be defined with concrete mow strips. Mow strips should also be used at the edges of formal landscape areas, or where needed, to delineate the limits of formal maintenance or to designate property limits.
- * Turf is permitted on slopes less than 25% where the toe of the slope is adjacent to an impermeable hardscape and where 25% means 1 foot of vertical elevation change for every 4 feet of horizontal length (rise divided by run x 100 = slope percent). Non-turf groundcovers should be used on slopes steeper than 25%.
- * Selected to minimize food sources for other animals.
- * Drought-resistant groundcover species, including turf that requires low-water usage, are encouraged.

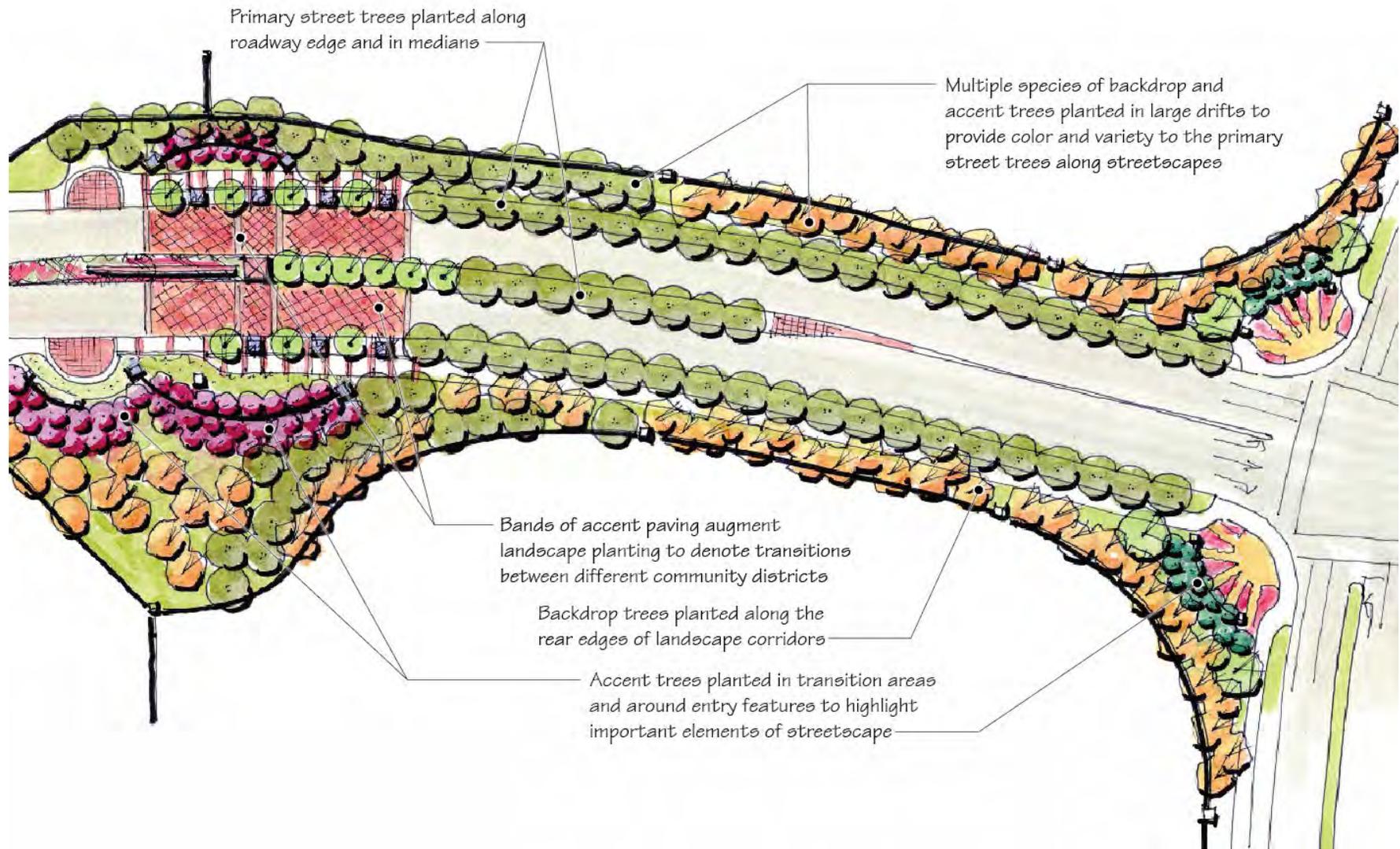


FIGURE 2-1: PLANTING CONCEPT FOR STREETSCAPES

02 landscape architecture

C. Street Tree Plan

A master design concept for Placer Ranch’s street trees is provided to ensure that roadway corridor landscaping is consistently implemented to create the desired streetscape theme. The design concept is rooted by the desire to clearly identify each district with a unique selection of tree plantings that differentiate the various districts from one another. This notion will reinforce the sense of place by using landscape architecture to establish a tangible identity for roadway corridors adjacent to the University, the Town Center, and the residential districts west of Fiddyment Road. Tree selection should retain enough similarity in color, texture, and appearance to ensure that the entire community retains a common landscape theme, while creating enough differentiation to establish a distinct identity for each district. To that end, some tree selections are repeated through each of the community’s districts to ensure that some thematic commonality is retained.

The street tree planting concept should adhere to the zone planting concept outlined in the Street Tree Plan (Figure 2-2), with trees selected from the focused palette of street tree themes provided in Table 2-1.

TABLE 2-1: STREET TREE THEMES

| Area | Primary Trees | Backdrop Trees | Accent Trees |
|-------------------------------------|-------------------------|--------------------|------------------|
| University District | * Red Sunset Maple | * Deodar Cedar | * Ginkgo Biloba |
| | * Deodar Cedar | * Raywood Ash | * Crape Myrtle |
| Town Center | * Red Sunset Maple | * Raywood Ash | * Flowering Plum |
| | | * London Plane | * Crape Myrtle |
| Residential District | * London Plane Columbia | * Deodar Cedar | * Crape Myrtle |
| | | * Raywood Ash | * Dogwood |
| | | * Chanticleer Pear | |
| Community Entrance Corridors | * Scarlet/Red Oak | * Raywood Ash | * Crape Myrtle |
| | * London Plane Columbia | * Deodar Cedar | * Dogwood |

Prior to or concurrent with the processing of the first set of improvement plans for roadway construction in the Plan Area, a refined Street Tree Plan shall be submitted for review and approval by the County. The plan’s design and selection of tree species should be consistent with the Planting Concept and Street Tree Plan outlined in this section. The Street Tree Plan shall be reviewed by the Planning Director (or designee) for conformance with the PRDG.

For roadways not identified on the Street Tree Plan, flexibility in design approach is permitted provided that trees and landscape materials are selected from the Master Plant Palette provided later in this section. Tree plantings along in-tract roadways shall be identified through the small lot subdivision map review process. Detailed landscape plans for landscape corridors will be processed with the adjacent subdivision map or design review permit.



Deodar Cedar



Raywood Ash



Crape Myrtle



Red Sunset Maple



Chanticleer Pear



Dogwood

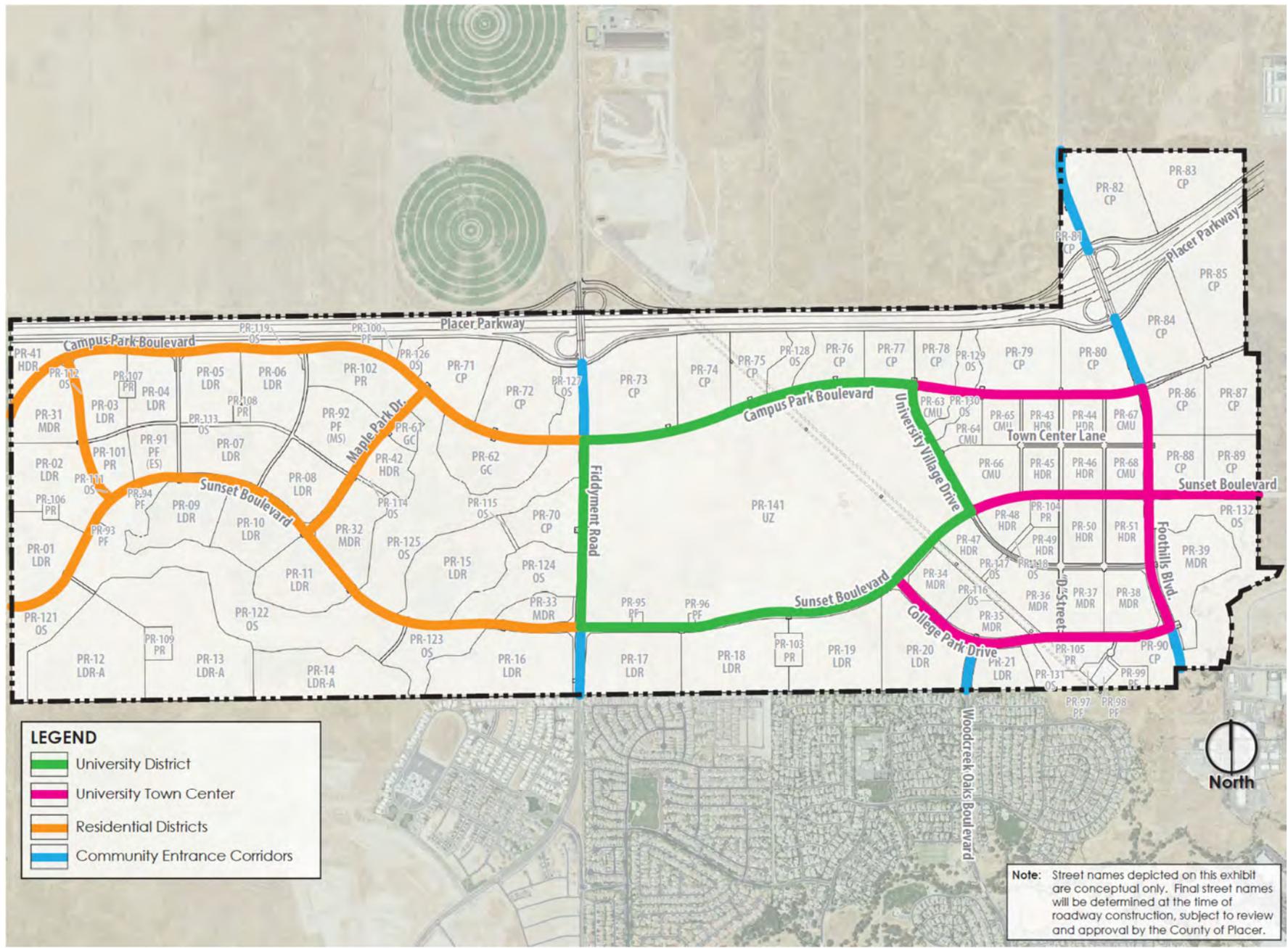


FIGURE 2-2: STREET TREE PLAN

D. Master Plant Palette

Trees and plant materials selected for Placer Ranch's streetscapes consist of materials that are compatible with local climate conditions. The plant palette is diverse, providing plant species that exhibit vigorous and colorful growth characteristics in all seasons. Material selection will collectively exhibit an array of colors, textures, forms, and flowering characteristics that make Placer Ranch's streetscapes attractive and visually interesting year-round.

Landscaping for all arterial and collector roadway corridors should be selected from the Master Plant Palette below. Deviations to this list may be approved by the County provided that they are consistent with the design theme, uphold the Planting Concept and Street Tree Plan outlined in this section, and comply with the Placer County WELO.

TABLE 2-2: MASTER PLANT PALETTE

| Scientific Name | Common Name |
|---|-------------------------------------|
| Thematic Street Trees | |
| <i>Acer rubrum</i> 'Red Sunset' | Red Sunset Maple |
| <i>Arbutus unedo</i> (Standard form) | Strawberry Tree |
| <i>Cedrus deodara</i> | Deodar Cedar |
| <i>Celtis occidentalis</i> | Hackberry |
| <i>Cercis occidentalis</i> | Western Redbud |
| <i>Cornus Florida</i> | Flowering Dogwood |
| <i>Fraxinus angustifolia</i> 'Raywood' | Raywood Ash |
| <i>Lagerstromia indica</i> | Crape Myrtle |
| <i>Liriodendron tulipifera</i> | Tulip Tree |
| <i>Pinus halepensis</i> | Aleppo Pine |
| <i>Pinus Pinea</i> | Italian Stone Pine |
| <i>Plantanus acerifolia</i> 'Bloodgood' | London Plane Tree |
| <i>Prunus cerasifera</i> | Purple Leaf Plum 'Krauter Vesuvius' |
| <i>Pyrus calleryana</i> 'Aristocrat' | Aristocrat Pear |
| <i>Pyrus calleryana</i> 'Chanticleer' | Callery Pear |
| <i>Quercus coccinea</i> | Scarlet Oak |
| <i>Quercus ilex</i> | Holly Oak |
| <i>Ulmus parvifolia</i> | Evergreen Elm |
| <i>Zelkova serrata</i> "Village Green" | Village Green Zelkova |
| Supplmental Street Trees | |
| <i>Acer palmatum</i> | Japanese Maple |
| <i>Carpinus betulus</i> | European Hornbeam |
| <i>Carpinus betulus</i> "Fastigiata" | Pyramidal Hornbeam |

| Scientific Name | Common Name |
|-------------------------------------|-------------------------------------|
| <i>Cercis canadensis</i> | Eastern Redbud |
| <i>Cercis occidentalis</i> | Western Redbud |
| <i>Cinnamomum camphora</i> | Camphor Tree |
| <i>Eleaeocarpus decipens</i> | Japanese Blueberry |
| <i>Ginko biloba</i> | Ginko |
| <i>Laurus nobilis</i> | Bay Laurel |
| <i>Liquidambar rotundiloba</i> | American Sweet Gum |
| <i>Magnolia grandiflora</i> | Southern Magnolia 'Majestic Beauty' |
| <i>Nyssa sylvatica</i> | Tupelo |
| <i>Olea europaea</i> | Olive |
| <i>Pinus nigra</i> | Austrian Pine |
| <i>Pinus thunbergi</i> | Japanese Black Pine |
| <i>Pistacia chinensis</i> | Chinese Pistache |
| <i>Prunus caroliniana standard</i> | Carolina Laurel Cherry |
| <i>Robinia ambigua</i> 'Idahoensis' | Flowering Locust |
| <i>Quercus robur</i> 'Fastigiata' | Columnar English Oak |
| <i>Tristania laurina</i> | Brisbane Box |

Shrubs

| | |
|--|--------------------------------|
| <i>Camellia japonica</i> | Japanese Camellia |
| <i>Ceanothus</i> spp. | Ceanothus |
| <i>Cotoneaster</i> spp. | Cotoneaster |
| <i>Heteromoles arbutifolia</i> | Toyon |
| <i>Ilex cornuta</i> | Chinese Holly |
| <i>Myrtus communis</i> | Myrtle |
| <i>Photinia fraseri</i> | Photinia |
| <i>Pittosporum tobira</i> | Mock Orange |
| <i>Pittosporum tobira</i> 'Variegata' | Variegated Tobira |
| <i>Podocarpus macrophyllus</i> | Yew Pine |
| <i>Prunus caroliniana</i> | Carolina Laurel Cherry |
| <i>Prunus laurocerasus</i> | English Laurel |
| <i>Rhaphiolepis indica</i> | Rhaphiolepis |
| <i>Rhaphiolepis</i> 'Majestic Beauty' | Majestic Beauty |
| <i>Rhus integrifolia</i> | Lemonade Berry |
| <i>Viburnum</i> spp. | Viburnum |
| <i>Xylosma congestum</i> | Shiny Xylosma |
| <i>Abelia grandiflora</i> | Glossy Abelia 'Edward Goucher' |
| <i>Arctostaphylos</i> 'Howard McMinn' | Howard McMinn Manzanita |
| <i>Callistemon viminalis</i> 'Little John' | Dwarf Bottlebrush |
| <i>Camellia sasanqua</i> | Sasanqua Camellia |
| <i>Carpenteria californica</i> | Bush Anemone |
| <i>Ceanothus</i> spp. | California Lilac |
| <i>Cistus</i> spp. | Rockrose |
| <i>Dietes bicolor</i> | Dietes |
| <i>Escallonia</i> spp. | Escallonia |

| Scientific Name | Common Name |
|---|---------------------------|
| <i>Feijoa sellowiana</i> | Pineapple Guava |
| <i>Grevillea noellii</i> | Grevillea |
| <i>Hypericum moserianum</i> | Gold Flower |
| <i>Loropetalum chinensis</i> 'rubrum' | Chinese Fringe Flower |
| <i>Nandina domestica</i> | Heavenly Bamboo |
| <i>Plumbago auriculata</i> | Cape Plumbago |
| <i>Prunus laurocerasus</i> 'Otto Luyken' | Otto Luyken Laurel |
| <i>Raphiolepis indica</i> 'Jack Evans' | Jack Evans India Hawthorn |
| <i>Rhododendron</i> spp. | Azalea |
| <i>Xylosma</i> c. 'Compactum' | Dwarf Xylosma |
| <i>Agapanthus</i> 'Peter Pan' | Dwarf Agapanthus |
| <i>Artemisia</i> spp. | Artemisia |
| <i>Baccharis pilularis</i> 'Pigeon Point' | Dwarf Coyote Brush |
| <i>Berberis thunbergii</i> | Japanese Barberry |
| <i>Ceanothus</i> spp. | Ceanothus |
| <i>Hemerocallis</i> hybrids | Evergreen Daylily |
| <i>Iris</i> sp. | Iris |
| <i>Liriope muscari</i> 'Big Blue' | Big Blue Lily Turf |
| <i>Mahonia aquifolium</i> 'Compacta' | Compact Oregon Grape |
| <i>Nandina domestica</i> 'Nana' | Dwarf Heavenly Bamboo |
| <i>Pittosporum</i> t. 'Wheeler's Dwarf' | Dwarf Tobira |
| <i>Raphiolepis indica</i> 'Dancer' | Dwarf Raphiolepis |
| <i>Rhododendron</i> spp. | Azalea Hybrids |
| <i>Rosemarinus officinalis</i> | Rosemary |
| <i>Santolina rosmarinifolia</i> | Santolina |

| Groundcovers | |
|--|--------------------|
| <i>Acacia redolens</i> | Creeping Acacia |
| <i>Arctostaphylos</i> spp. | Dwarf Manzanita |
| <i>Baccharis pilularis</i> 'Twin Peaks' | Dwarf Coyote Brush |
| <i>Coprosma</i> 'Verde Vista' | Coprosma |
| <i>Cotoneaster dammeri</i> 'Lowfast' | Lowfast Bearberry |
| <i>Hypericum calycinum</i> | St. Johnswort |
| <i>Juniperus</i> s. 'Broadmore' | Juniper |
| <i>Myoporum parvifolium</i> | Myoporum |
| <i>Pyracantha</i> sp. 'Lowboy' | Creeping Firethorn |
| <i>Rosmarinus officinalis</i> 'Prostratus' | Prostrate Rosemary |
| <i>Trachelospermum jasminoides</i> | Star Jasmine |
| <i>Trachelospermum asiaticum</i> | Asian Jasmine |
| <i>Vinca major</i> | Periwinkle |
| <i>Vinca minor</i> | Dwarf Periwinkle |

E. Unique Landscape Design Considerations

There are several edges and land use interfaces in the Plan Area that warrant special landscape design consideration. The intent is to use landscaping to screen public view of various development features or large-scale utilities, or to enhance the visual quality of sensitive edges. Conditions that warrant special landscape treatment include Placer Parkway, powerline corridors, and Public Facility sites, as described below.

PLACER PARKWAY

The following provisions should landscape design along the edge of the Placer Parkway corridor:

- Where High-Density Residential and Campus Park parcels adjoin the Placer Parkway right-of-way, site landscaping should consist of dense application of large-scale conifer trees and low-scale shrubs and groundcover that creates a "green" edge and reinforces Placer Ranch's landscape architectural theme.
- Where a park or paseo parcel adjoins the Placer Parkway right-of-way, site landscaping should consist of an informal arrangement of evergreen and deciduous trees, enhanced by shrubs and groundcovers, which collectively create a park-like setting.
- Where a Public Facility parcel adjoins the Placer Parkway right-of-way, site landscaping should consist of dense evergreen trees and low-scale plantings that screen views of utilities, to the extent feasible.
- Landscape plantings should be selected from the Master Plant Palette provided in this section.
- Open style fencing, such as wrought-iron style or split rail, should be used along the Placer Parkway's interface with park and Campus Park parcels in order to provide security, yet maintain views into the project from the road.
- Masonry walls should be used along Placer Parkway's interface with High Density Residential and Public Facility parcels to provide security and privacy.
- Site landscaping along all edges should be enhanced with land contouring and berms to add visual interest.

02 landscape architecture

POWERLINE CORRIDORS

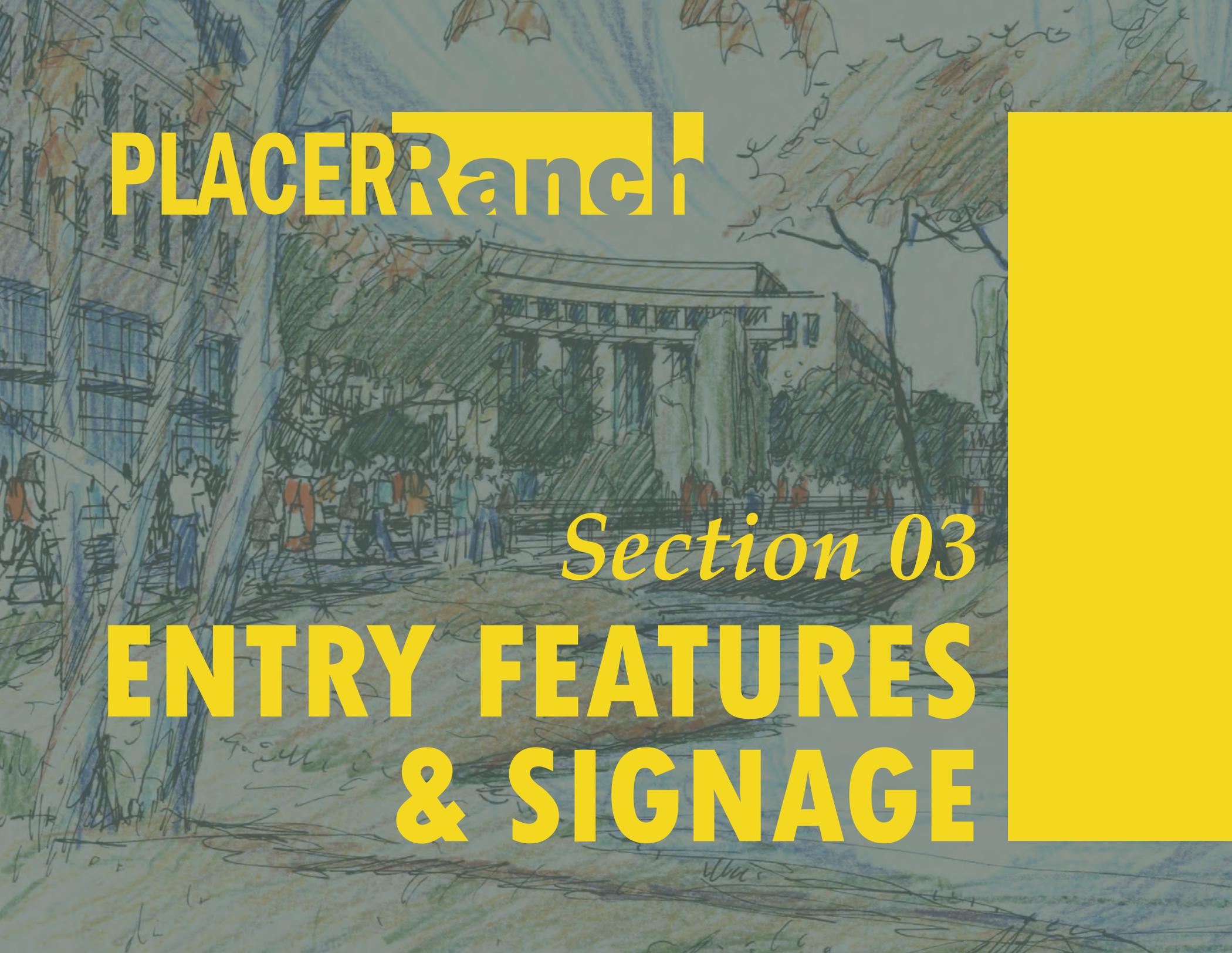
The following provisions should be used to guide the design and placement of landscaping in powerline corridors:

- Landscaping within a powerline easement should be restricted to low-growing trees, shrubs, groundcover, turf, and bark subject to review and approval by the County.
- No permanent structures other than electric utilities may be placed within a powerline easement.
- Landscape plantings should be selected from the Master Plant Palette provided in this section.
- Lighting structures and landscaping within a powerline easement should not exceed 15-feet (at maturity) above ground elevation, and should not be within 25-feet of the nearest high-voltage transmission line conductor.
- Berms should not be placed next to the base of powerline poles or towers.
- All grading, landscape structures (including lighting and fencing) and landscaping on a public-utility easement or near a public utility is subject to final approval by the County.

PUBLIC FACILITY SITES

Several Public Facility sites are located throughout the community to provide required utilities for the community. These include water tanks, electric facilities, sewer lift stations, and groundwater wells. Landscaping around these features should give careful consideration of the visual appearance of these features to the surrounding community. The following provisions should landscape design along the edges of Public Facility sites:

- A combination of trees, shrubs, and groundcovers should be planted along the perimeter of Public Facility sites.
- A dense application of evergreen trees should surround utility enclosures or be planted along site perimeter, particularly along street frontages where landscaping should be planted through the entire landscape corridor.
- Plantings used for landscape screening should be selected from the Master Plant Palette provided in this section.
- Sites for utilities, such as water tanks, Roseville Power Plant 2, substation, sewer lift stations, and ground water wells, should be surrounded by a masonry wall enclosure that screens view of public facilities and provides site security. Walls material and color should be consistent with the landscape architecture theme established for Placer Ranch.

An architectural sketch of a street scene. On the left, a multi-story building with a grid of windows is sketched in blue and brown. In the center, a street leads towards a building with a prominent entrance. On the right, there are trees with sparse foliage, sketched in brown and green. The overall style is a loose, expressive line drawing with some color washes. A large yellow rectangular block is positioned on the right side of the image, partially overlapping the sketch.

PLACER Ranch

Section 03

ENTRY FEATURES & SIGNAGE

COUNTY
OF

Placer



Placer Ranch

03 entry features & signage

- A. Overview
- B. Design Concept
- C. Entry Feature Plan
- D. Community Gateways
- E. Project & District Entries
- F. Neighborhood Entries

03 entry features & signage

A. Overview

Entry features and associated signage are an integral component for the visual character of the community's public realm. Working in tandem with the landscape design elements outlined in PRDG Section 2, entry features utilize a single design approach that is repeated throughout the community to reinforce Placer Ranch's sense of place. By utilizing a consistent palette of hardscape elements, natural materials and finishes, community icons, signage design, and metal accent features, the public realm will have a unified streetscape theme. Furthermore, these features create visual transition points into and out of the community, as well as districts within Placer Ranch, to strengthen the community's cohesive appearance.

B. Design Concept

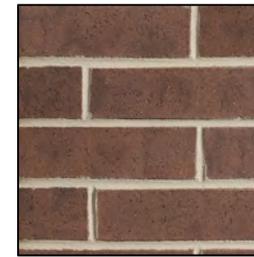
Hardscape elements along streetscapes should evoke a sense of permanence, with high-quality materials that reinforce Placer Ranch as a flagship community. Accordingly, the landscape theme should utilize a palette of stone, brick, and metal. The design concept for entry features, including large-scale monuments, pilasters, walls, and signs, should be guided by the following provisions:

- * A distinct base, body, and cap element should be provided in the design of all hardscape elements.
- * Each element should incorporate a visually-heavy base, consisting of a stone material such as granite.
- * Decorative hardscape for walls and pilasters should consist of brick.
- * Wall panels for signage should consist of a flat, earth-tone material such as stained concrete or plaster.
- * Metal accent materials should be incorporated into gateway design.
- * Walls, pilasters, and signs should incorporate a top cap, consisting of split face stone, concrete, or similar material that complements the design and finish of concrete/plaster wall surfaces or stone base.

Prior to construction of entry features and associated signage, a master design palette shall be developed that that establishes a theme for all hardscape elements to be used throughout Placer Ranch's streetscapes. The palette should ensure that entry features and signage utilize a uniform palette of building materials, finishes, colors, and accents, resulting in a consistent plan-wide appearance.



Heavy-weighted stone used at the base of monuments and hardscape features



Brick used to clad monuments, pilasters, knee walls, and other decorative elements



Decorative wrought iron or corten metal elements used as accents

C. Entry Feature Plan

The Entry Feature Plan identifies the location and type of entry features. It is comprised of a hierarchy of entry monumentation, where large-scale elements are sited key community gateways, like transition points into and out of Placer Ranch, and where smaller-scale elements are sited strategically to announce entry into community districts, such as the Town Center, and individual neighborhoods or projects. All entry features are planned to accommodate signage that identifies each type of gateway, entry point, or project, with supporting hardscape monumentation, walls, or icons that repeat the Placer Ranch "theme." The location of planned entry features is illustrated on Figure 3-1.

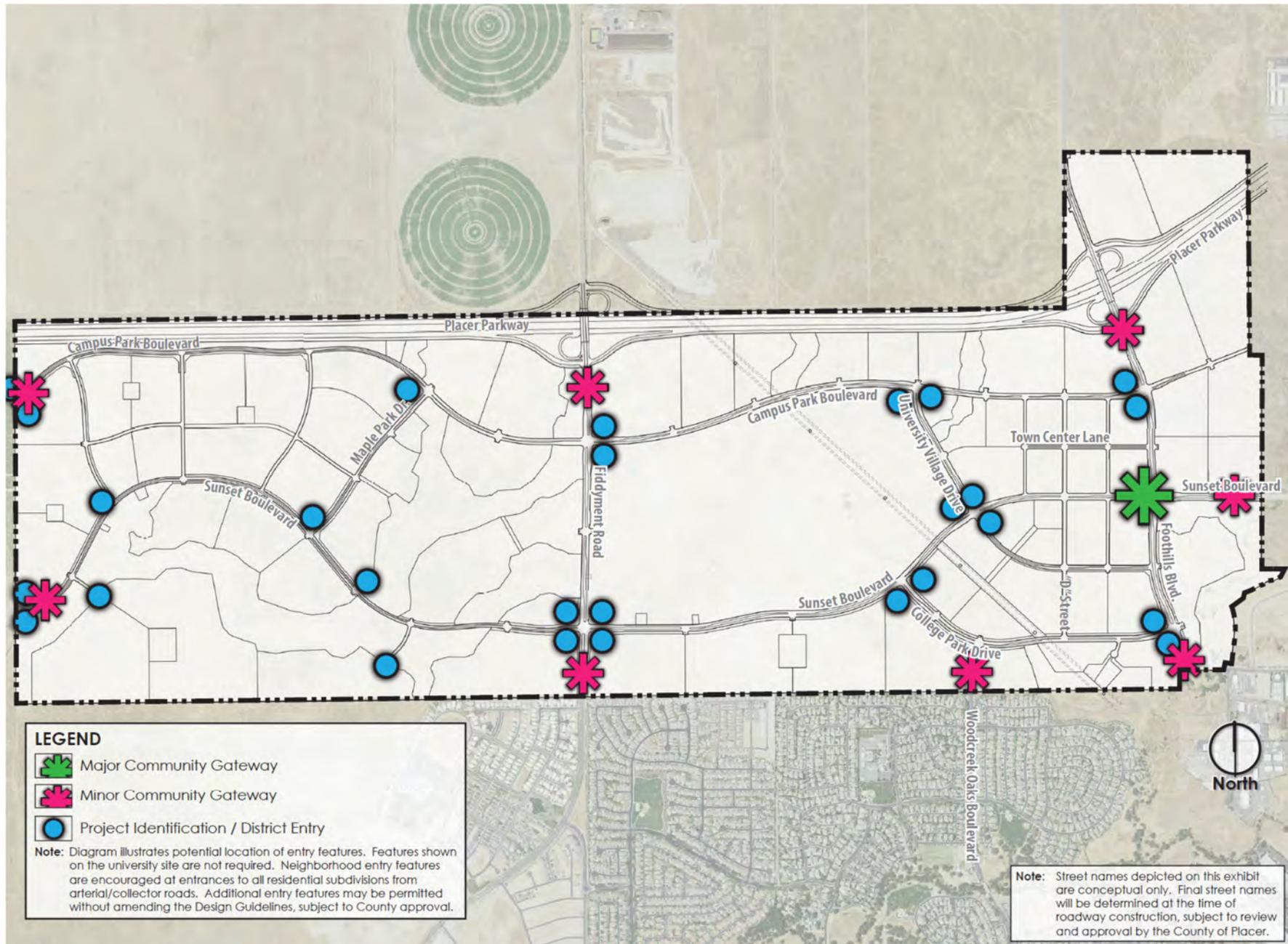


FIGURE 3-1: ENTRY FEATURE PLAN

03 entry features & signage

D. Community Gateways

The purpose of community gateways are to identify the major entry points into Placer Ranch. In terms of size and scale, these are the most significant entrance features planned and are to have a “grand” appearance that dominates the streetscape. Community gateways are to be sited along roadways at major entry points and should be designed to clearly announce the transition into Placer Ranch. Due to their height, scale, and physical significance along the street edge, the thematic design of these features is a critical element in establishing the visual theme and character that is to be repeated throughout the community. Two types of community gateways are planned:

→ **Major Community Gateway:** One major community gateway is planned in Placer Ranch. Located along the Sunset Boulevard corridor at the eastern edge of the Town Center, this should be designed as a landmark element that clearly defines entry into Placer Ranch and strongly establishes the landscape architecture theme. Large-scale hardscape monumentation, pilasters, and associated signage should utilize street medians and landscape corridors to create a well-defined gateway to announce entry into Placer Ranch. The height, scale, and massing of the major community gateway should be larger than any other entry feature in the community. To increase Placer Ranch’s exposure along Highway 65 and Placer Parkway, additional major community gateways may be permitted along arterial entry corridors, both on and off-site.

→ **Minor Community Gateway:** Several minor community gateways are planned, located along arterial roadway corridors at transition points into Placer Ranch. These are visually prominent features that include hardscape elements in the median and landscape corridors, however their height, scale, and massing is smaller than that of the major community gateway.

The Entry Feature Plan (Figure 3-1) identifies where community gateways are planned. At each location, gateway design should span the entire width of the roadway, utilizing space in landscape corridors, intersection corner clips, and medians for the construction of iconic monumentation, walls, signage, decorative pavement, and other hardscape elements. Gateways should incorporate tall hardscape elements such as obelisks or pilasters, with large decorative walls, planters, and colorful landscaping that have a high-quality architectural style with a sense of permanence.

This design approach will establish a distinct transition point as residents arrive and depart Placer Ranch.

Consistent with the landscape guidelines in PRDG Section 2, community gateways should be complemented with thematic accent trees and landscaping. Plantings of annual flowers and groundcovers should also be used to subtly accent these features and add colorful interest.

Project identification signage should be integrated into the walls, utilizing plaster panels and raised metal letters as specified in Section 8 of the PRSP Development Standards. Soft accent lighting may be incorporated to wash light on these features and associated landscaping. Lighting for hardscape elements and signage for should not create upward glare visible to drivers or from adjacent land uses. A design concept for Community Gateway features is illustrated in Figure 3-2, which should be used in conjunction with the conceptual Project Entry Feature illustrated in Figure 3-3.

As noted previously, prior to construction of entry features and associated signage, a master design palette shall be developed that that establishes a theme for all hardscape elements to be used throughout Placer Ranch’s streetscapes. Final design is subject to review and approval by the County.

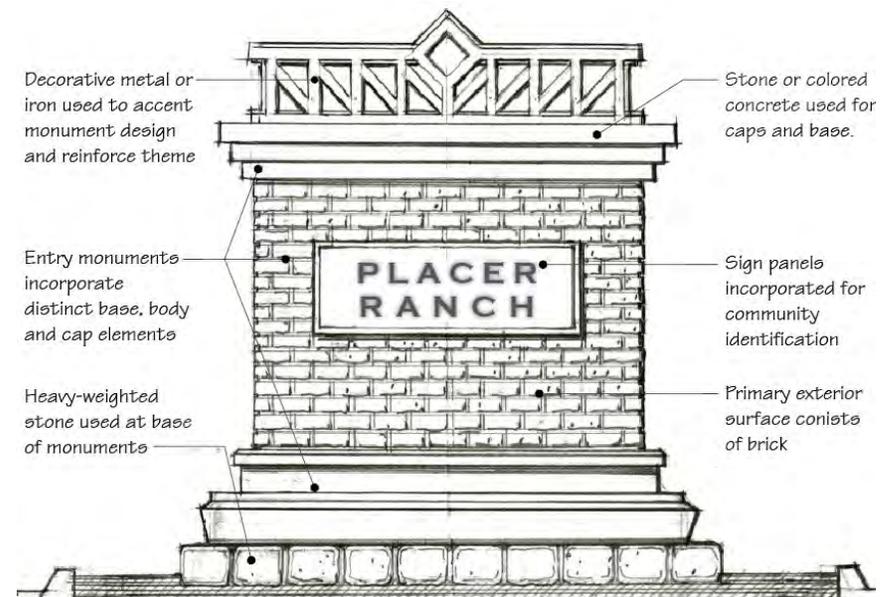


FIGURE 3-2: COMMUNITY GATEWAY DESIGN CONCEPT

E. Project & District Entries

The purpose of project and district entry features is to identify large projects and/or transition points into distinct districts. As described in Section 3 of the Placer Ranch Specific Plan, the community is divided into several geographical districts (i.e. Campus Park, Town Center, Campus Arcade, etc.). Project and district entry features are intended to give visual stature to each of these districts, with hardscape elements and signage that are located along roadway edges to form district transitions.

The Entry Feature Plan (Figure 3-1) identifies where project/district entry features are planned. At each location, these features should utilize space in the landscape corridor (and median, if present) for the construction of thematic hardscape elements and signage. The size and scale is intended to be smaller than that of community gateways, but should utilize the same palette of materials, colors, accents, and finishes for decorative hardscape features and other elements forming the street's the landscape architecture. These features should be designed with signage that identifies arrival/departure for each respective district in the Plan Area.

Project/district identification signage should be integrated into the walls, utilizing plaster panels and raised metal letters as specified in Section 8 of the PRSP Development Standards, which identifies the district or project, such as a collection of residential neighborhoods. Soft accent lighting may be incorporated to wash light on these features and associated

landscaping. Lighting for hardscape elements and signage for should not create upward glare that is visible to drivers or from adjacent land uses. A design concept for project and district entry features is illustrated in Figure 3-3.

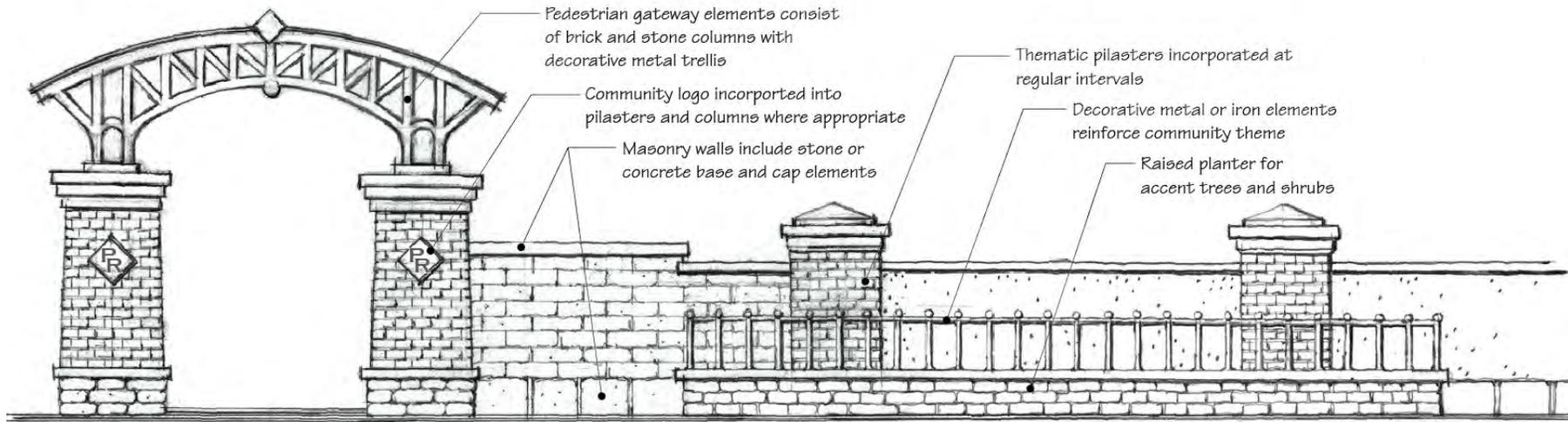


FIGURE 3-3: PROJECT & DISTRICT ENTRY DESIGN CONCEPT

03 entry features & signage

F. Neighborhood Entries

The purpose of project entry features is to identify individual residential neighborhoods or commercial/ office complexes. Although not identified on the Entry Feature Plan, these features are permitted at primary entry points into any residential neighborhoods or non-residential development projects. Depending on the individual application, space in landscape corridors and medians can be used for construction of project entries.

As noted previously, prior to construction of entry features and associated signage, a master design palette shall be developed that that establishes a theme for all hardscape elements to be used throughout Placer Ranch's streetscapes. Final design is subject to review and approval by the County.

Neighborhood entry features should also include signage that identifies the neighborhood or project name. Signs should be integrated into the walls, utilizing plaster panels and raised metal letters as specified in Section 8 of the PRSP Development Standards. Soft accent lighting may be incorporated to wash light on these features and associated landscaping. Lighting for hardscape elements and signage for should not create upward glare that is visible to drivers or from adjacent land uses.

Several design concepts that illustrate the thematic approach for neighborhood entry features are provided in Figure 3-4.

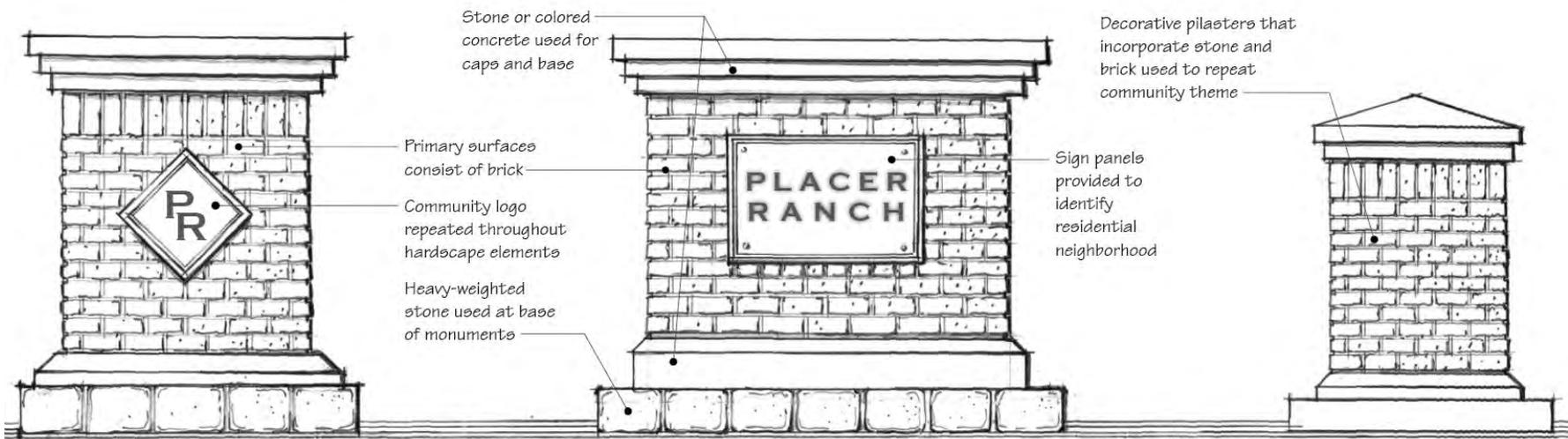


FIGURE 3-4: NEIGHBORHOOD ENTRY THEMATIC DESIGN CONCEPTS



PLACER Ranch

Section 04

PARKS & PASEOS

COUNTY
OF

Placer



Placer Ranch

04 parks & paseos

- A. Overview
- B. Park & Paseo Summary
- C. Conceptual Park Plans
- D. Paseo Design Concept

04 parks & paseos

A. Overview

Placer Ranch provides several public parks and paseos that provide active and passive recreation opportunities for residents. Parks are located throughout the residential villages in a manner that places these amenities in walkable proximity to most homes. Programming for park spaces varies by size. Larger parks are co-located with school sites and are programmed with active play facilities in order to maximize opportunities for joint-use recreation. Smaller parks are embedded within the residential neighborhoods and have less formal programming, allowing these features to function as central green spaces for surrounding homes.

Paseos have an open space land use designation and are sited throughout the villages, linking residential neighborhoods with schools, parks, and the multi-use Class I trail system. They also provide connectivity between the university site and the Town Center. As fully-landscaped features, paseos function as linear parks that include passive recreational amenities and a multi-use Class I trail.

Parks and paseos are integrated into the community via linkages natural open space areas, creating a comprehensive “green” network of active and passive recreational amenities that thread through the entire community. The planned system of Class I trails further enhances the recreational value in Placer Ranch, by providing a street-separated trail system that links all recreational amenities.

B. Park & Paseo Summary

Different types of parks and paseos are planned in Placer Ranch, including:

- * **Community Park:** This is the largest park type in Placer Ranch and it incorporates recreational facilities that support the entire community, such as lighted ball fields for recreational league sports. Facilities may include sports fields for baseball and soccer, basketball courts, picnicking facilities, restrooms, and tot lots.
- * **Neighborhood Park:** This park type includes recreational amenities that are neighborhood-serving. The number and type of sports fields are smaller than those in a community park, but facilities could include ballfields, restrooms, tot lots, and turf areas for informal play.
- * **Mini-Park:** This is the smallest park type in Placer Ranch, designed to provide passive recreational amenities in central locations within residential neighborhoods.

- * **Private Park/Recreation Center:** This park type is intended as an amenity for private residential neighborhoods, such as within the age-restricted community. Facilities may include passive outdoor recreation areas and a clubhouse with indoor gaming rooms, dining facilities, a pool, gathering areas, and other amenities.
- * **Paseo/Linear Park:** Paseos have an open space designation and function like a passive park. These features are fully-landscaped, have a linear design, and incorporate a multi-use Class I trail, passive recreation areas, seating areas, and park-like landscaping. This designation also accommodates a Placer Parkway buffer (PR-119).

These features are listed in Table 4-1 and illustrated on Figure 4-1.

TABLE 4-1: PARK AND PASEO PARCEL SUMMARY

| Parcel | Park Type | Provided |
|---------------------------|--------------------------------|--------------------|
| Neighborhood Parks | | |
| PR-101 | Neighborhood Park | 9.13 ac |
| PR-102 | Community Park | 20.85 ac |
| PR-103 | Neighborhood Park | 4.00 ac |
| PR-104 | Neighborhood Park | 3.61 ac |
| PR-105 | Neighborhood Park | 7.79 ac |
| PR-106 | Mini-Park | 1.21 ac |
| PR-107 | Mini-Park | 1.21 ac |
| PR-108 | Mini-Park | 1.21 ac |
| PR-109 | Private Park/Recreation Center | 4.00 ac |
| <i>Subtotal</i> | | <i>53.01 acres</i> |
| Open Space Paseos | | |
| PR-111 | Paseo/ Linear Park | 0.57 ac |
| PR-112 | Paseo/ Linear Park | 0.62 ac |
| PR-113 | Paseo/ Linear Park | 1.78 ac |
| PR-114 | Paseo/ Linear Park | 0.59 ac |
| PR-115 | Paseo/ Linear Park | 0.62 ac |
| PR-116 | Paseo/ Linear Park | 5.31 ac |
| PR-117 | Paseo/ Linear Park | 0.77 ac |
| PR-118 | Paseo/ Linear Park | 0.77 ac |
| PR-119 | Paseo/ Linear Park | 9.42 acres |
| <i>Subtotal</i> | | <i>20.45 acres</i> |
| Total | | 73.46 acres |

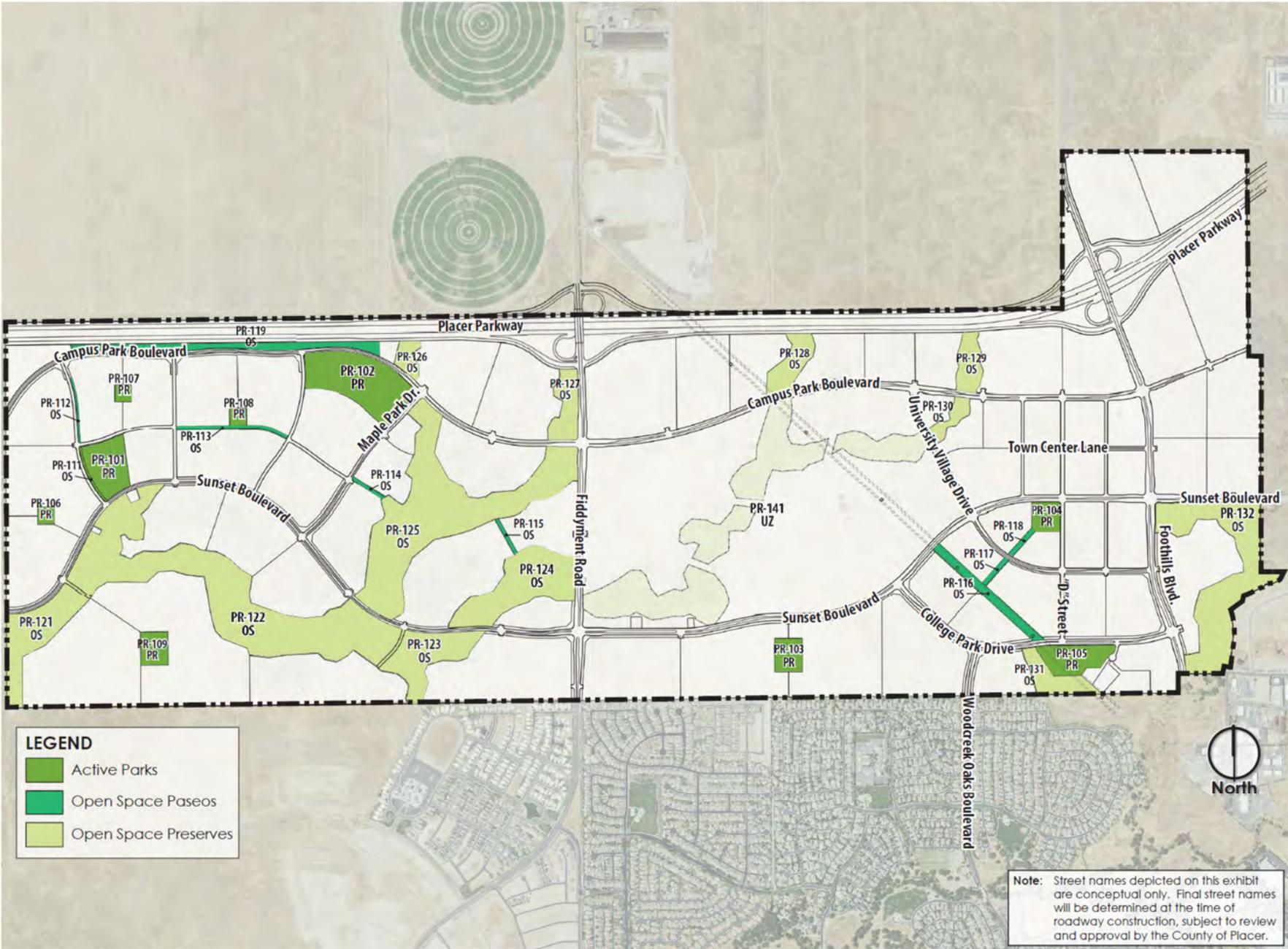


FIGURE 4-1: PARKS, PASEOS & OPEN SPACE LOCATIONS

04 parks & paseos

C. Conceptual Park Plans

The frequency of parks throughout Placer Ranch is intended to place park spaces within a central and convenient walking distance from all residential neighborhoods. This section provides a conceptual park plan for the primary parks in the community, including the community park and all neighborhood parks. Each concept plan includes an illustrative layout of recreational spaces, including facilities and amenities such as play areas, ball fields, etc. Park designs focus the use of turf to active recreational areas, with low water use plants incorporated where turf is not necessary, per the Placer County WELO.

The park plans in this section are conceptual, intended only to provide direction for the final design of each park and the types of recreational amenities that can be accommodated. Final park design will be subject to review and approval by the County.

PARCEL PR-101: NEIGHBORHOOD PARK

→ **Size:** 9.13 ac.

→ **Theme:** Active, Joint-Use School/Park Facility

→ **Planned Facilities:**

- * Multi-Sport Field (designed to accommodate soccer, rugby, or lacrosse)
- * Softball field (may overlap with multi-sport field)
- * Children's play area
- * Picnic area w/ shade structure
- * Benches & seating walls
- * Turf area(s) for informal activity
- * Restroom and drinking fountain
- * Parking, shared with adjacent school
- * Open, decorative fencing (where fencing is needed)
- * Permeable edge with adjacent school

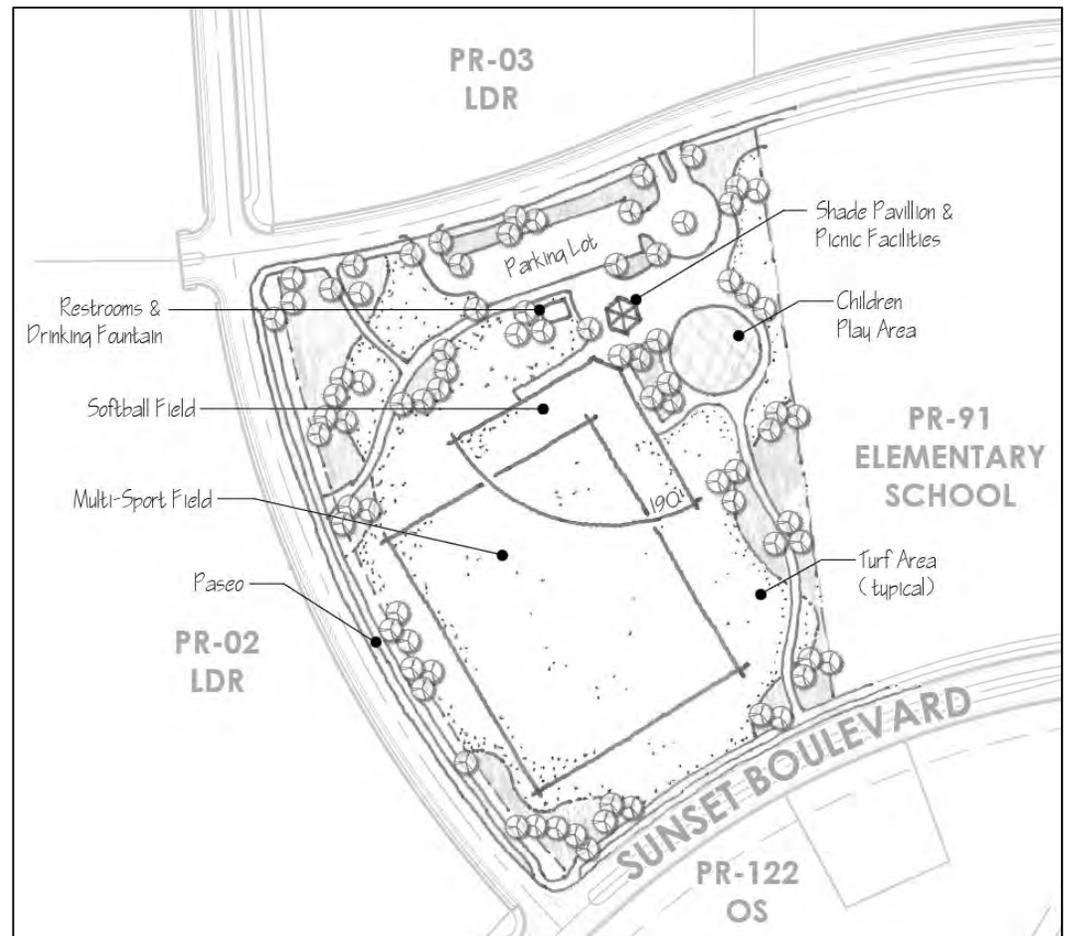


FIGURE 4-2: CONCEPT PLAN FOR PARK SITE PR-101

PARCEL PR-102: COMMUNITY PARK

→ **Size:** 20.85 ac.

→ **Theme:** Active, Joint-Use School/Park Facility

→ **Planned Facilities:** Amenities listed below are subject to refinement based on overall programming needs for Plan Area.

- * Two, full-size baseball diamonds (320' field w/ 90' base paths), with field lighting
- * Bleachers with 5 rows on baseball diamond
- * Multi-Sport field for soccer, rugby, or lacrosse (may overlap with baseball field/s)
- * Half-court basketball (2), with lighting
- * Tennis courts (up to two) with lighting and/or pickleball/badminton courts, 20'x44' (optional)
- * Sand volleyball courts (optional)
- * Shaded picnic area (sized for large groups)
- * BBQ area (adjacent to picnic area)
- * Multi-use turf area
- * Children's play area
- * Snack/storage building for sports equipment
- * Restroom and drinking fountain
- * Parking, shared with adjacent school
- * Open, decorative fencing (where fencing is needed)
- * Permeable edge with adjacent school

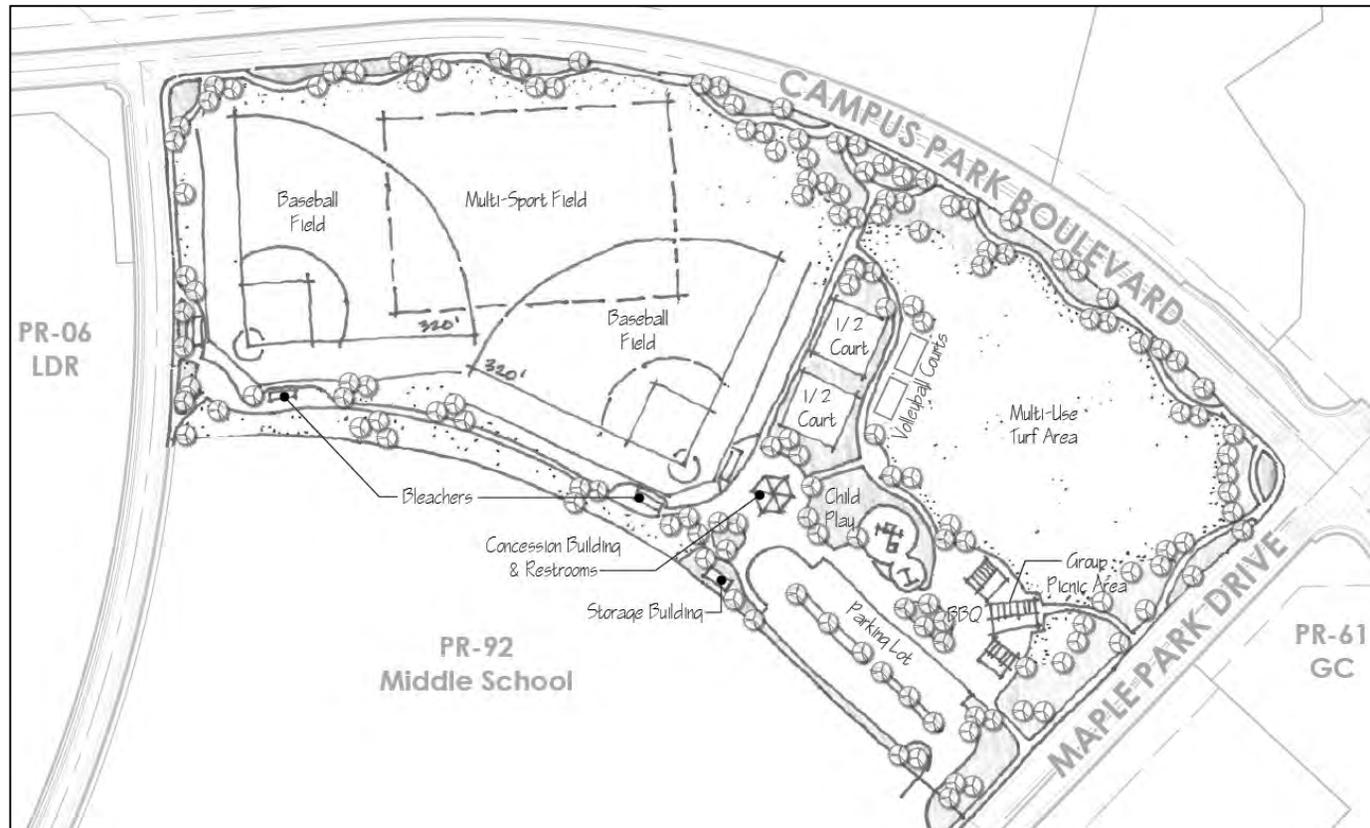


FIGURE 4-3: CONCEPT PLAN FOR PARK SITE PR-102

04 parks & paseos

PARCEL PR-103: NEIGHBORHOOD PARK

→ Size: 4.00 ac.

→ Theme: Active, Neighborhood Gathering Location

→ Planned Facilities:

- * Small, multi-sport turf playfield for soccer, rugby, or lacrosse
- * Shade structure with seating
- * Children's play area
- * Half-court basketball (x2) or full court
- * Multi-use turf area
- * Pickle ball courts, or other comparable amenity
- * Drinking fountain and restroom
- * On-street parking to be provided along adjacent streets

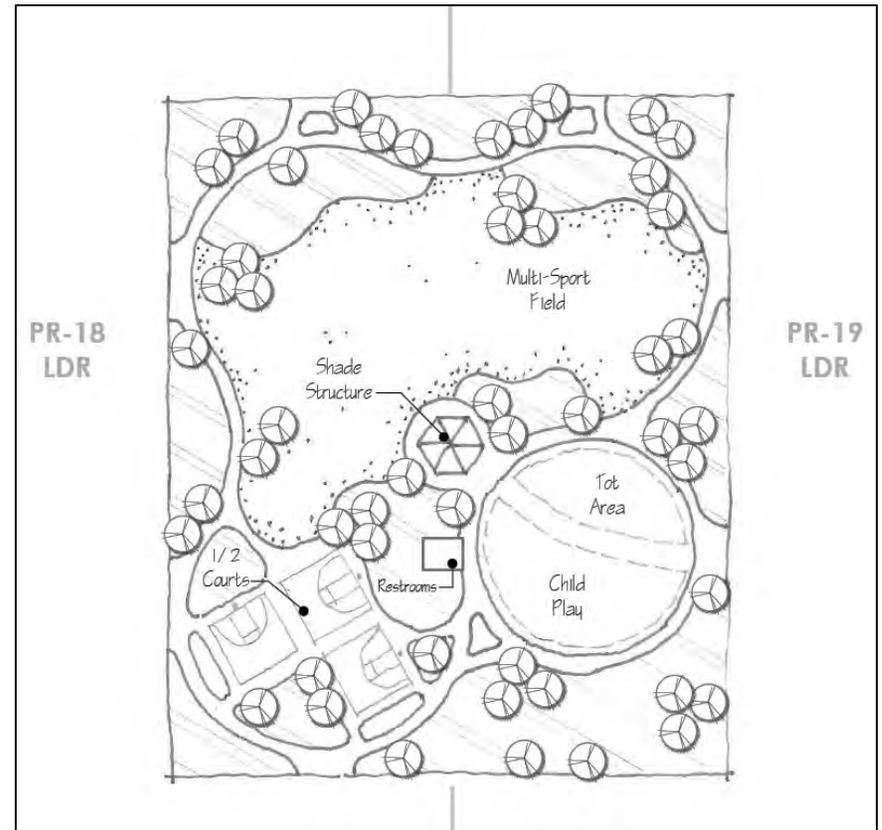


FIGURE 4-4: CONCEPT PLAN FOR PARK SITE PR-103

PARCEL PR-104:
TOWN CENTER VILLAGE GREEN

- Size: 3.61 ac.
- Theme: Formal Design Town Square, Passive Recreation, Community Gathering and Event Center

→ Planned Facilities:

- * Central gazebo, bandstand, and/or stage
- * Large hardscape areas for special events & social gathering
- * Seating walls and/or benches
- * Informal amphitheater and/or small turf knoll
- * Water feature (large fountain to anchor park)
- * Visual linkage to paseo
- * Compartmentalized gaming areas for large chess, bocce ball, reading rooms, etc. (optional)
- * Children’s play area near paseo
- * Special design features/ themed elements for child’s play (animals, trains, book, etc.)
- * Rose garden (or similar, formally-designed landscaped spaces/ corridors)
- * Small, multi-purpose building for storage, snack bar, and/or other facility needs
- * Restroom and drinking fountain
- * Open, decorative fencing (where fencing is needed)
- * On-street parking to be provided via local streets in the Town Center district

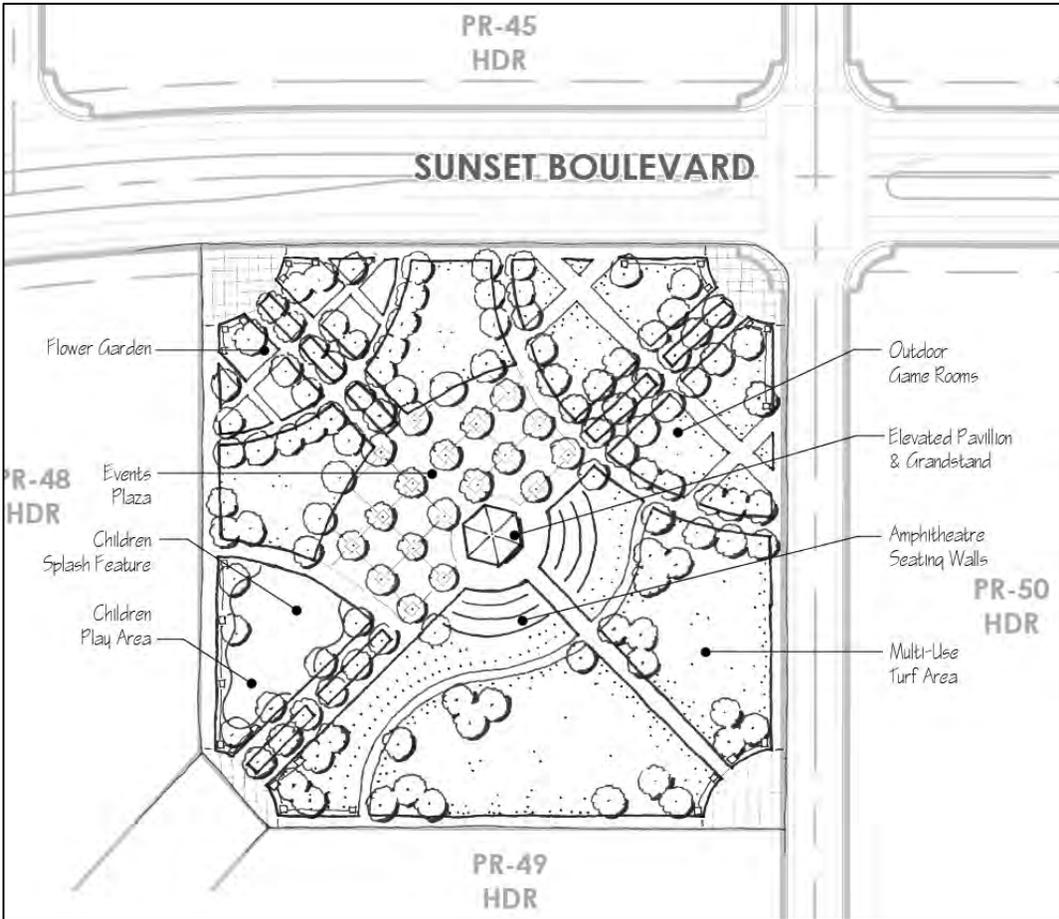


FIGURE 4-5: CONCEPT PLAN FOR PARK SITE PR-104

04 parks & paseos

PARCEL PR-105: NEIGHBORHOOD PARK

→ Size: 7.8 ac.

→ Theme: “Placer Heritage Park” – Active, Adventure Park, Themed to Emphasize Youth Activity

→ Planned Facilities:

* Park space programmed with several outdoor “rooms” that give homage to landmarks and features that characterize Placer County. Elements designed for children to play on, in, and around. Theming elements to be inspired by: Railroad, trains, Sierra Nevada mountain range, American River Canyon, gold rush, bridges, industrial elements, Squaw Valley Olympics, natural features (granite boulders, river gorges, etc.), or other complementary elements.

* Large, climbing features / special design elements (see above ideas for theming elements – can include Placer County landmarks, natural features, boulders, monuments, animals, mitt, book, etc.)

* Half-court basketball (optional)

* Children’s play area with play structure(s) and swings

- * Gaming spaces (hop-scotch, handball, and other amenities that reflect Placer County heritage, etc.)
- * Shade structure with seating
- * Picnic area
- * Drinking fountain and restrooms
- * Benches and seating walls
- * Open Space viewing area
- * Trailhead
- * Parking lot (oversized to accommodate trailhead users)

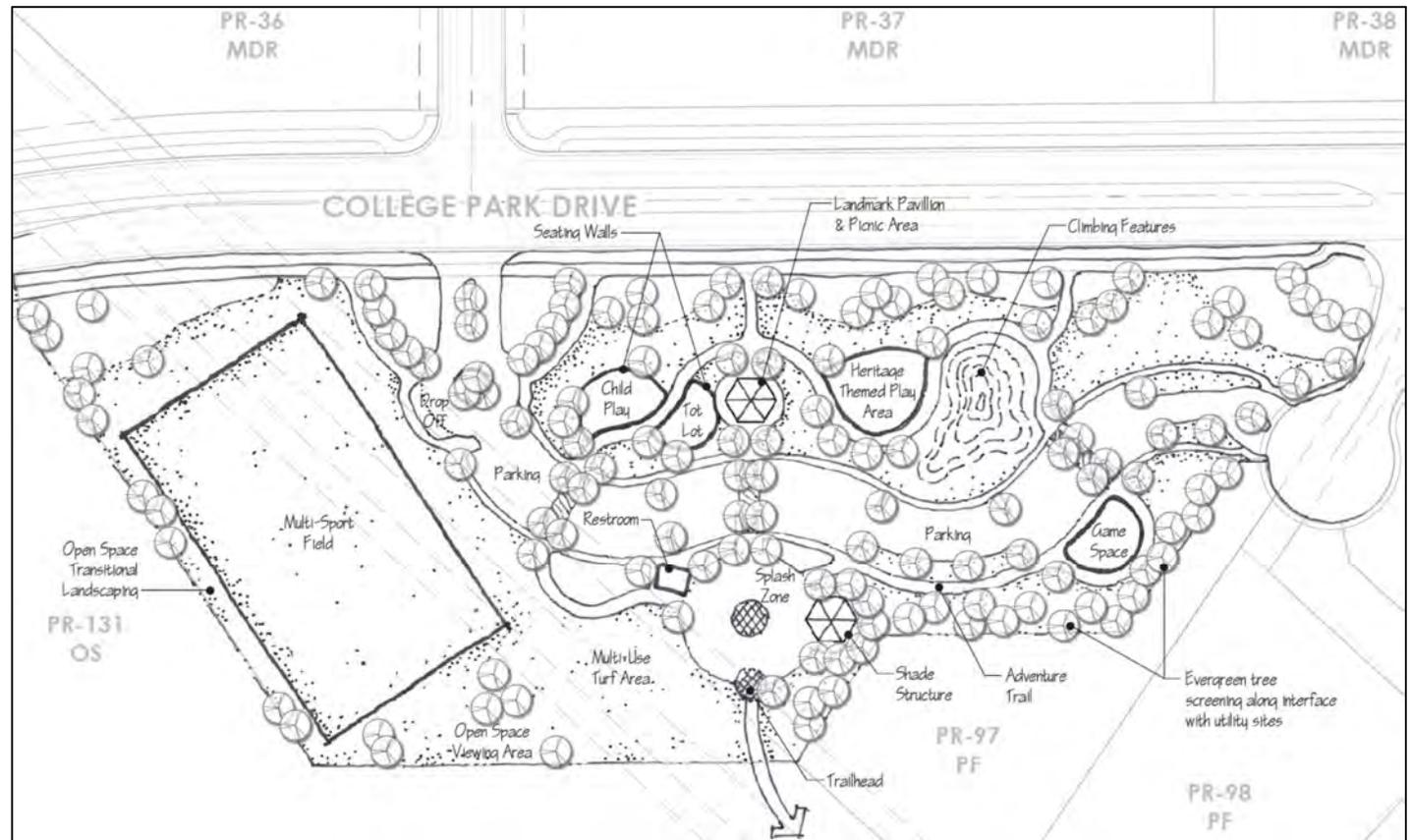


FIGURE 4-6: CONCEPT PLAN FOR PARK SITE PR-105

PARCELS PR-106 TO PR-108: MINI PARKS

- **Size:** 1.2 ac. each
- **Theme:** Passive, Neighborhood Gathering Node
- **Planned Facilities:** Each park space is envisioned to have different programming and could include all or some of the amenities listed below, subject to refinement by County staff during park design process.
 - * Shade structure/ gazebo
 - * Children's play area (play structure and/or swings)
 - * Turf areas for informal play
 - * Seating walls and/or benches
 - * Drinking fountain
 - * On-street parking to be provided along adjacent local streets

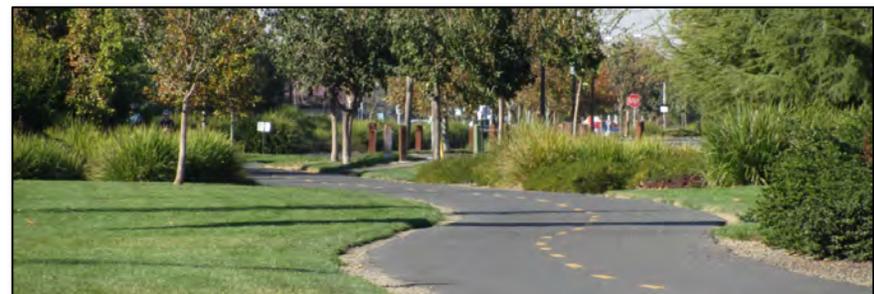


D. Paseo Design Concept

Paseos are strategically sited throughout Placer Ranch to provide green linkages between residential neighborhoods, parks, schools, and open space areas. They include multi-use Class I Trails that augment the open space trail system, thereby creating a complete street-separated trail network that pedestrians and bicyclists can use to circulate throughout the community.

Paseo design should include a variety of passive recreational amenities, including a 10'-wide multi-use Class I Trail (see Development Standards for design requirements), sitting areas, small turf areas for informal play, and park-like landscaping. Landscaping in paseos should focus the use of turf to active play areas, with low water use plants incorporated where turf is not necessary. Like parks, paseos should target a 60% turf goal based on total paseo acreage throughout the Plan Area.

The imagery for paseos in this section is intended to provide inspiration for the final design of paseos and their integration into residential neighborhoods. Final paseo designs are subject to County approval.



04 parks & paseos

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PLACER Ranch

Section 05

**RESIDENTIAL
DESIGN**

COUNTY
OF

Placer



Placer Ranch

05 residential design guidelines

- A. Overview
- B. Application
- C. Subdivision Design
- D. Residential Architectural Design

05 residential design guidelines

A. Overview

The purpose of these residential design guidelines is to provide direction for the design of residential subdivisions and homes in Placer Ranch. This section provides clear objectives to developers, home builders, and Placer County staff regarding the level of design quality expected as the community builds out. Although the guidelines do not speak to individual architectural styles, they provide sufficient design guidance to ensure that residential neighborhoods are well-connected, and that home design is architecturally harmonious in and of itself, and creates visually interesting streetscapes. By using the guidelines to orient living spaces towards the street, de-emphasize the appearance of garages, and encourage a variety of architectural details with a broad range of materials and colors, Placer Ranch will develop as a distinguishable community as envisioned.



B. Application

This section should be used to guide the layout of subdivisions and the design of residential homes in conjunction with the PRSP Development Standards. The guidelines are not to be applied as strict standards. Instead, they should be interpreted with flexibility, recognizing that there are several design solutions that can achieve the illustrated design intent. In addition, the imagery contained in this section is conceptual, intended only to communicate the spirit and intent of the accompanying guidelines and to evoke creativity in the design of homes.

These residential design guidelines are tailored for application to single-family detached homes in low-density and medium-density residential neighborhoods. Portions of these Guidelines could apply to some multi-family attached units and, to the extent it is feasible and practicable, should be used to help direct the quality of architecture expected of multi-family residential developments.



C. Subdivision Design

Residential subdivisions should be designed such that neighborhoods have cross connectivity for automobiles, bicyclists, and pedestrians. The intent is for individual subdivision design to blur the lines between edges such that a collection of neighborhoods are walkable and well-connected. While connectivity is desired, some neighborhoods may be gated provided they do not limit access to a public park. The following provisions should be used to guide the connectivity and edge conditions for Placer Ranch's subdivisions.

NEIGHBORHOOD CONNECTIVITY

Because a key amenity of Placer Ranch is its multi-use trail system, access to open space preserves and paseos is paramount to neighborhood design. While providing neighborhood connectivity across arterial roadways and open space preserves is a challenge, where the edges of large lot parcels adjoin one another or have an interface with a park or paseo, providing connectivity between subdivisions is encouraged. This type of connectivity is typically achieved through street connections between residential subdivisions, but can also be provided via pedestrian passage ways.

Unless a subdivision is gated pursuant to the provisions in this section, connectivity should be provided between neighborhood units. The exact location of street connections is to be determined through the County's small lot tentative subdivision map process. If subdivisions for adjacent large lot parcels are processed at separate times, the first subdivision to be processed by the County will establish the location for cross connection. Guidelines that should be used to enhance the connectivity of neighborhood units are outlined below:

- To minimize barriers between neighborhoods and to enhance connectivity, street patterns should be encouraged that allow for connection points between neighboring subdivisions.
- Paseos access should be used as a means of integrating multiple subdivisions.
- Residential neighborhoods along the western edge of the Plan Area should provide local street connections to neighborhoods in the Amoruso Ranch Specific Plan (in Roseville), to the extent feasible and practical.



05 residential design guidelines

EDGE CONDITIONS

Where residential neighborhoods have an interface with an open space preserve, paseo, or park, design techniques should be employed to provide neighborhood access and visibility to these features. The intent is to provide physical and visual access to these features from within each neighborhood. Guidelines for these types are edges are outlined below:

The following guidelines should be used to help direct the design of neighborhoods adjacent to park and open space features:

- Where applicable, neighborhoods should provide access to adjacent parks, natural creek corridors, pedestrian parkway corridors, or paseos.
- Gates into subdivisions may be permitted provided they do not preclude public access to a public park or open space area.
- A subdivision's internal street system should be designed to allow residents to walk easily to nearby parks.
- Residential units should be oriented toward (facing) parks, rather than backing up to them.
- Neighborhood parks should front on at least two single-loaded residential streets to provide visibility, create open access for residents, and incorporate the amenity into the surrounding neighborhood.
- Where adjacent to open space preserves, subdivisions should provide visual and physical access to the open space, as noted below:
 - * Residential streets should provide views into open space areas at selected locations by providing opportunities for homes to front or side on to open space. Design techniques include single-loaded streets, loop streets, or live end cul-de-sacs. While not encouraged, homes may also back on to open space areas.
 - * Where residential lots back up or side onto open space areas, the use of open, residential view fencing is encouraged, as outlined in Section 9 or the PRSP Development Standards. Where privacy, security, or noise attenuation warrant a different approach, such as adjacent to public trails, ornamental solid fencing may be used between residential lots and open space (subject to standards from Placer County Fire).

- * Where developed parcels or roadways adjoin an open space preserve, the preserve is to be defined with either residential view fencing, post & cable fencing, or split rail fencing, as outlined in Section 9 of the PRDS.
- * Neighborhood design may allow homes to back on to park and open space features, however connection points are encouraged, either via live-end cul-de-sacs, paseos, or other types of edge breaks. Connection points should be provided in accordance with the multi-use trail plan outlined in Section 7 of the PRSP Development Standards.
- * Pedestrian connection points to park and open space features should be easy to find from the interior of neighborhoods or from the multi-use trail system and should have sufficient width and design detail to encourage public use.

GATED NEIGHBORHOODS

If desired, subdivision design may allow gated neighborhoods for the creation of private residential communities within Placer Ranch. Although not encouraged, gated subdivisions are most appropriate in areas where specific plan parcels are “land-locked” by open space preserves and large roadways, such as subdivisions located west of Fiddyment Road and south of Sunset Boulevard. Gated subdivisions may be permitted where they do not preclude cross connectivity from neighborhoods to public parks, paseos, or open space areas. For instance, subdivisions adjacent to parks or paseos should not be gated unless connection points to these public amenities can be provided for automobiles, bicyclists, and pedestrians. Gated subdivisions are subject to review and approval by the County through the small lot tentative subdivision map process.



D. Residential Architectural Design

This section should be used to provide architectural design direction for the construction of single-family homes in low- and medium-density residential neighborhoods. The design intent for Placer Ranch's residential architecture is to ensure that homes have high-quality, enduring design with a built-over-time appearance. While imaginative design that incorporates these guidelines is encouraged, it is expected that architectural variation will occur. Regardless of any home's individual architectural style, several important elements should be considered when approaching architectural design. These include building massing, garage orientation, roof forms, building materials, windows, exterior finishes, and other architectural enhancements.

GENERAL ARCHITECTURAL GUIDELINES

The following general architectural guidelines should be considered for residential home design.

- Home design should incorporate design features that are true to the selected architectural style, with doors, windows, and other design elements that appropriately reinforce its character.
- Home design should incorporate architecturally-harmonious variations in building form and massing, roof forms, colors, and materials.
- Quality application of siding materials and other exterior features is encouraged.
- Exterior exposed metals such as aluminum or steel doors, windows, screens, rooftop, and other metal shall be anodized in a color or provided with a factory finished approved color.
- All roof or ground-mounted mechanical equipment, satellite dishes, antennas, or other similar structures should be screened from view with an enclosure that is compatible to architectural theme of attached or adjacent structure.
- Visually confusing or disordered facades, including a mixture of architecturally incompatible roof forms, window/door shapes, styles and sizes, are discouraged.



05 residential design guidelines

SCALE AND MASSING

Home design is an important element of a neighborhood's character. To create a residential streetscape that is pedestrian-scaled and comfortable for residents to walk, bike, and recreate, careful attention should be given to the scale and massing of homes. To ensure that homes are appropriately designed, several basic elements should be employed to make sure that the overall form, scale, and appearance of each residential neighborhood creates an environment that achieves the design intent.

Elements to Encourage

- Articulating the form and massing of homes with variations in building height, bulk, shape and footprint, with offset wall planes on each façade. Two-story homes should incorporate one-story elements to break up massing and provide visual relief.
- Integrating a combination of single and multiple-story elements into each neighborhood to create a varied streetscape skyline.
- Providing stylistic diversity through the use of a mix of plan forms and elevations, and a variety of exterior finish materials. Each neighborhood should have at least three basic product types, with at least three design deviations for each product to help create a unique architectural appearance when compared to one another.
- Pairing homes in conventionally-plotted neighborhoods so that garages and entries are adjacent to each other, to create an undulating setback of building mass, resulting in larger, combined front yard spaces. In order to avoid monotony, this pattern should be broken occasionally.

Elements to Discourage

- Building footprints with a basic rectangle or "L-shaped" garage-forward house design.
- Unarticulated massing that results in a box-like building form.
- Repeated building forms that create visual monotony along the street.
- Overuse of two-story homes that dominate the streetscape and create no stylistic diversity.
- Homes that have repetitious flat wall planes, similar building profiles, and similar ridge heights.



Homes are well-articulated and incorporate a variety of architecturally-harmonious building forms, which have stylistic diversity and add visual interest to their overall scale and massing.

GARAGE LOCATION AND ORIENTATION

The prominence of garages along a residential streetscape is a component that can affect the overall scale, appearance, and desirability of a neighborhood. To ensure that garages are incorporated into the design of each home and do not dominate the streetscape, the following guidelines should be implemented.

Elements to Encourage

- Varying garage placements in a neighborhood to reduce the visual prominence of garage doors along the streetscape.
- Reducing the visual impact of a double-wide garage by using two single doors, in lieu of one single door.
- Using garage doors that have a wood-like appearance, and include unique window design and/or color scheme, which is appropriate to a home's architectural style.
- Reducing the prominence of three-car garage configurations by utilizing off-set and/or separated bays, or tandem garage configurations.
- Preventing side-entry/swing-in garages from becoming a focal point along the streetscape by using architectural elements such as windows or flower boxes, on the side wall facing the street.
- Creating shadow lines and dimensional relief by using garage doors that incorporate raised panels with a wood-like exterior finish and appearance.
- Articulating the garage door plane with treatments such as trellises, porte cochere, brackets, or architectural headers.
- Using alternative garage placement options to avoid a visual monotony of garage doors along the residential streetscape, such as:
 - * Recessed Garage
 - * Corner Lot with Side-Street Entry Garage
 - * Forward Swing-In Garage or Split Garages
 - * Alley-Loaded Garage
 - * Detached Garages



Garages do not dominate the front façade allowing living spaces to face the street.



Street-facing walls of swing garages have windows and other architectural features.

Elements to Discourage

- Front-loaded garages that are located closer to the street than the house's primary front walls and/or porch areas.
- Garage doors that are flat, appear unnatural, or have no windows.
- Blank walls facing the street on swing-in or side-entry garages.
- Garage door placement that dominates the front facade.
- 3-car garage bays that have no off-sets in the front wall plane or separation among bays.

05 residential design guidelines

CORNER LOTS

Similar to the quality architectural elements that are required of front elevations, enhanced architectural treatments should be incorporated onto building elevations on corner lots. A corner lot elevation is defined to include an elevation along a side lot line that directly fronts a roadway, park, or open space area. The following guidelines should be implemented on corner lot elevations:

Encouraged Elements

- Treating both corner lot elevations as primary elevations to include articulated building mass, wrap around porches, single story elements, and detailed design elements specific to the home's architectural style.
- Adding enhanced architectural elements to side elevations such as:
 - * A variety of window treatments including, but not limited to, window surrounds, trim, and multi-paned glass;
 - * A variety of hipped and gabled roof forms;
 - * Exterior façade details such as accent materials, color juxtaposition, and other architectural elements appropriate to a home's individual style; or
 - * Changes in wall planes between first floors and second floors (as appropriate).
- Making home plans easily adaptable to allow for inclusion of elements such as wrap-around porches, bay windows, or pop-outside gables to corner elevations.



Porches and other architectural features wrap around the house.



Building features, trim, and other architectural enhancements are incorporated in all street-facing elevations.



Discouraged Elements

- Windows that lack trim elements and/or do not have the same design appearance as those on the front/primary building elevation.
- Blank walls with no windows or other architectural enhancements.
- Street-side privacy fencing that unduly masks the home from the street.
- Large wall planes with no breaks between first and second story elements, and/or with no changes in building massing.

ROOF FORMS & MATERIALS

In order to provide visual interest along the streetscape, adjoining residences should make use of varying roof forms. Variations in roof lines, ridge heights, materials, and the direction of gables are encouraged.

Encouraged Elements

- Varying roof forms within each neighborhood, specific to each home's architectural style, with changes in massing, pitch, and direction.
- Varying the height of ridgelines and fascia.
- Using roof materials with substantial, three-dimensional definition that create deep shadow lines along the roof plane.
- Specifying a roof color that is harmonious with the home's color palette.
- Creating a roof design that is appropriate to each home's architectural style, but that incorporates a number of different roof forms, planes, ridge heights, design features (gables, hips, dormers, etc.) that break up the mass of the roof and add to the home's architectural quality.



Roof forms and materials are appropriate for each home's individual architecture.

Discouraged Elements

- Roof materials that are flat and have no shadow relief.
- Repetitious gable ends, framed side to side on rear elevations.
- Repeated roof forms that create a monotonous streetscape, such that all houses appear to have a similar or same roof design.
- Neighborhoods that all use the same roof materials and colors.

ENTRIES

The primary entrance to each home should be articulated as the main focal element of the building's front elevation. This is achieved through the appropriate use of several design techniques that enhance these features. The following guidelines should be incorporated into home design for entries:

Encouraged Elements

- Using roof elements, columns, porticos, recesses or projections, windows or other architectural features that "announce" a home's primary entrance.
- Articulating entryways with porches or courtyards, where design is appropriate.
- Orienting entryways to the front/street side of the house, or side street on corner units.



Entries are architecturally distinguished building features.

Discouraged Elements

- Primary entrances that face a side yard, unless located on a corner lot.
- Front doors that are hidden behind garage doors and/or are not visible from the street.

05 residential design guidelines

WINDOW TREATMENTS

Typically the location of windows is determined by the practical considerations of room layout, views, and privacy. To ensure that windows create an appropriate, high-quality architectural appearance on the exterior of homes, the following guidelines should be followed:

Encouraged Elements

- Adding trim elements that are appropriate to the architecture of the home and that enhance its appearance and provide shadow relief along each building elevation, including:
 - * Decorative or bracketed window heads;
 - * Full trim surrounds;
 - * Fabric awnings or awning shutters;
 - * Decorative shutters; or
 - * Window boxes and flower pot shelves.
- Utilizing glass with no glazing (clear), or with lightly-tinted, non-reflective glazing, that incorporate glare reduction.
- Including decorative trim elements on windows located on the sides and rear of homes, especially on lots on street corners and/or along park or open space parcels.
- Including transom or clerestory windows in large wall planes, where appropriate to a home's architecture.
- Using multi-paned windows where appropriate to the architectural style of a home.
- Utilizing vertically-oriented window forms, with multiple windows paired or ribboned (3 or more) together with a unifying trim surround.
- Recessing windows, when appropriate to a home's architectural style (trim surround not necessary).
- Using windows with dark, anodized, painted aluminum, vinyl, or wood frames that are harmonious with the architecture and color palette of the home.



Multiple windows are ribboned together with trim.



Windows incorporate trim, boxes, shutters, and other architectural enhancements that complement each home's architectural style.

Discouraged Elements

- Windows without trim surrounds or architectural enhancements.
- Glass with dark or reflective glazing that excessively reflects light.
- Clear anodized or mill-finished aluminum window frames.
- Monochromatic treatment of window surrounds that 'disappear' into the building facade
- Clustered window forms that lack a unifying trim surround or bracketed window heads/sills.

PORCHES AND BALCONIES

Porches and balconies add a visually-pleasing, pedestrian-scaled element to a streetscape edge, which brings outdoor living spaces to the front yard and promotes social interaction among residents. These features also provide visual relief to the building mass. As such, porches and balconies are encouraged to promote social activity within the neighborhoods. When porches are incorporated into home design, the following guidelines should be considered:

Encouraged Elements

- Covering porches with distinct roof forms that articulate the massing of the house, and utilizing wrap-around porches on corner lots, or lots adjacent to open areas.
- Raising porches from the adjacent sidewalk elevation to define the public and private realm, and to provide a sense of security for homeowners.
- Designing porches as an integral element of the building, with details, eaves, supports, and railings that are harmonious with the architecture of the home.
- Designing porches to be at least 6'-deep and 10'-wide so there is sufficient area for outdoor furniture.
- Incorporating functional balconies that articulate the building form and are an integral element of the home design.
- Using a variety of balcony designs; covered or open, and either recessed into the mass of the building or as a cantilevered element to match architectural style.

Discouraged Elements

- Porches that do not wrap around the side of the house (on corner lots, where appropriate).
- Porches that are at the same elevation as the sidewalk.
- Porches that are less than 6'-deep.
- Decorative, non-functional balconies that appear "tacked on" or that lack architectural design elements evident in the home.



Porches have sufficient depth to accommodate outdoor seating.



Porches are focal elements on the street-facing façade of a home.



Balconies incorporate railing, trusses, and other architectural features that complement the home's style and character.

05 residential design guidelines

MATERIALS, COLORS, & EXTERIOR FINISHES

Exterior building materials and finishes are a critical element in the perception of quality housing. The following guidelines should be implemented to ensure that an appropriate composition of material types, accents, and colors are used throughout the residential neighborhoods.

Encouraged Elements

- Adding accent materials such as brick, stone, shingles, or wood siding to punctuate important architectural forms, such as entryways, balconies, support columns, or porches.
- Creating color schemes that visually articulate a home's exterior form and that highlight architectural features such as porches, support posts, fascia, trim, and other detail elements.
- Using a maximum of three (3) material types and/or colors, exclusive of the roof and trim.
- Exterior materials, windows, and finishes that are not reflective.
- Utilizing material changes in a logical and aesthetically-pleasing manner such as at reverse corners or a return on a side-wall towards the privacy fence. Unless a material is being used to create a column effect, side-wall returns should be no less than 4-feet.

Discouraged Elements

- Accent materials that appear "tacked on" to the house and/or do not have sufficient side-wall return.
- Large-sheet siding materials such as plywood, T1-11, or other materials that create an unnatural appearance and/or create distinct reveal lines that are not harmonious with a home's architectural style.
- Accent materials that appear fake or synthetic, or that are not true to the architectural style of the home.
- Exterior materials, finishes, windows, and glazing that reflect light.
- Single color use on an entire home, with no distinction between the primary body and architectural elements or trim.



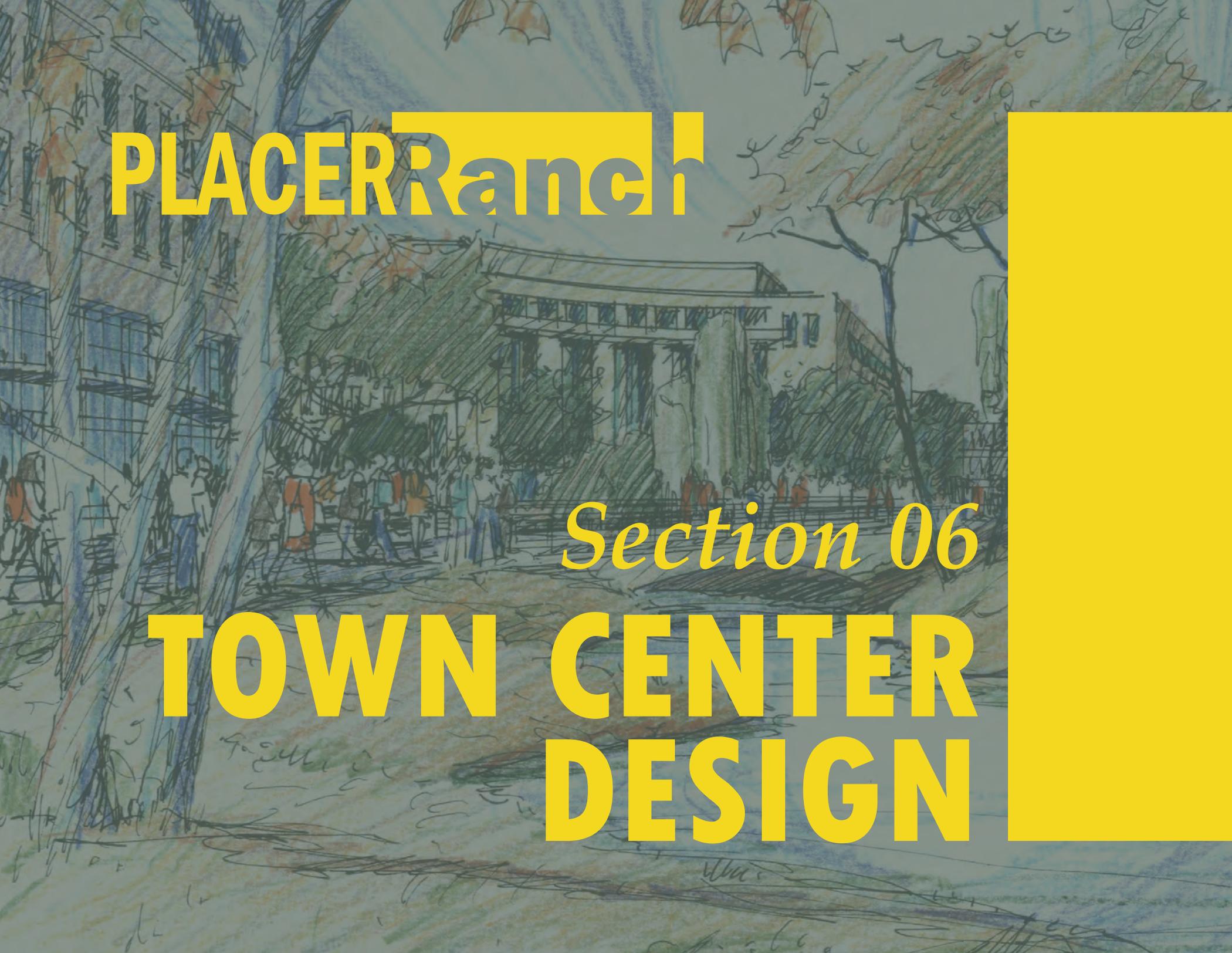
A diverse selection of materials are used to accent building walls and embellishments.



Changes in colors and materials are transitioned at architectural features.



A mixture of materials and colors are used to punctuate important architectural forms.



PLACER Ranch

Section 06

**TOWN CENTER
DESIGN**

COUNTY
OF

Placer



Placer Ranch

06 town center design

- A.** Overview
- B.** District Design Principles & Objectives
- C.** Urban Form & Development Pattern
- D.** Development Standards
- E.** Entrance Gateways & District Identifiers
- F.** Street Fixtures & Furnishings

06 town center design

A. Overview

The Town Center (TC) is a 225-acre mixed-use district located in the heart of Placer Ranch, adjacent to the Campus Park and university. It is the place where people go to shop, to eat, and to gather with friends and colleagues. The TC is modeled after a traditional, downtown, where commercial buildings and residential homes are fronting along a network of gridded streets, and the development pattern prioritizes pedestrian walkability and slower-moving automobile traffic. A mix of uses is envisioned, with two distinct commercial nodes and high-density residential blocks organized around a central village green. At full buildout, the TC will host restaurants, cafes, retail shops, offices, townhomes, small-lot single family homes, and multi-story apartment buildings.



B. District Design Principles & Objectives

To achieve the design intent, the following objectives and principles should guide the long-term buildout of the Town Center.

- The TC district should be a clearly-identifiable place within the Placer Ranch community.
- The overall development pattern should follow the form of a traditional, downtown setting, with a gridded street pattern, short blocks, and intersections at regular intervals.

- Building entries and windows should be oriented toward the street, aligned along the back edge of adjacent right-of-way, and with parking lots on site interiors, where possible.
- Town Center Lane should function as the TC's "Main Street" that provides a linear connection between the university and Foothills Blvd.
- Retail, business, office, and residential uses should be encouraged to be mixed within individual buildings or on a project site.
- Residential and non-residential development intensities should be higher in order to create a 24-hour population.
- Pedestrian walkability should be prioritized through site design.
- A diverse range of housing options should be encouraged to allow single-family housing on small lots, attached and detached townhomes, stacked flats, apartments, and lofts.
- A village green should function as the TC's central organizing element, easily accessible from adjacent neighborhoods and programmed to facilitate active uses such as concerts, movie nights, farmer's markets, craft fairs, and other community events.

C. Urban Form and Development Pattern

The Town Center is envisioned as an urban, mixed-use district, with higher-intensity residential and non-residential uses placed in proximity to the Campus Park and university site. Uses can be mixed horizontally on a site and/or mixed vertically within individual buildings.

The form, massing, and orientation of buildings should create an urban edge along streetscapes, reinforced by wide sidewalks and extensive tree canopies. Parking lots should be located behind buildings in order to maintain an urban street interface. Additional design guidance for street networks, block layouts, and street interfaces, is outlined in this subsection.

Successful execution of TC's envisioned urban form will occur over the long term, if guided by the previously-stated principles and objectives. There are multiple design solutions that will meet the desired outcome, one of which is illustrated on Figure 6-1. This concept plan should be used to direct the TC's urban form and development pattern, recognizing that its design will evolve over time. Other design solutions should be encouraged, which may have different street networks, block layouts, and parcel shapes, while continuing to successfully meet the design principles herein.



FIGURE 6-1: TOWN CENTER CONCEPT PLAN

06 town center design

KEY ELEMENTS OF THE TOWN CENTER

The concept plan for the TC incorporates several key elements that allow a mix of uses to develop with an urban development pattern. While the specific development pattern may be adjusted over time, several key elements should be maintained in the long term. These include:

- **Mixed-Use Core:** This is the TC's mixed-use hub, which is intentionally sited adjacent to the university site and Campus Park. A mixture of uses are allowed, including retail shops, restaurants, cafes, services, offices, and upper-floor apartments and lofts, that complement an urban setting. Building arrangement should form a "Main Street" style of development with a clearly-identifiable linkage to the university site.
- **Town Center Lane:** This is the Town Center's primary retail corridor, designed to create a walkable environment. Buildings should front along this street, with primary entrances, fenestration, and building facades adjoining the sidewalk. Development projects should place the highest priority on activating this street frontage with businesses.
- **Neighborhood Shopping:** This is the TC's shopping center, which is sited at the crossroads of three major arterial roadways. Unlike the mixed-use core, it should focus on commercial uses, such as a grocer, drug store, and ancillary uses that are neighborhood-serving. Building arrangement may follow that of a conventional shopping center, but should maintain the TC's urban development pattern, which includes urban-scale buildings and a walkable atmosphere.
- **Village Green & Paseos:** The heart of the TC is the Village Green. Programmed as an urban park, its design should allow for large events and community gathering, with areas for urban gardens, passive recreation, and children's play. To strengthen connectivity to the Village Green, several paseos are embedded in the residential villages to provide linear park spaces with multi-use trails.
- **HDR Core:** A significant element of the TC's residential areas is the high-density core, which is organized around the Village Green and is located in proximity to commercial nodes and the university site. Over 1,600 HDR units can be accommodated and commercial uses should be encouraged north of Sunset Boulevard. Buildings should be arranged formally along streetscapes to create an urban development form.

- **MDR Villages:** Located along the southern edge of the TC, the MDR villages accommodate nearly 500 single-family detached homes. These villages should have a compact development form, with neighborhood design responding to the TC's grander urban network.

The location and relationship of the various elements described above are illustrated on Figure 6-2.



FIGURE 6-2: TOWN CENTER ELEMENTS

STREET NETWORK & BLOCK LAYOUT

Placer Ranch's land use and circulation plans establish a high-level framework for the TC's urban development pattern. The alignment of arterial and collector streets around and within this district establishes a basic grid, with land uses aligned along three key roadway corridors: University Village Drive, Town Center Lane, and D Street. This circulation network generates rectangular parcels that are sized to form walkable blocks, with a traditional grid-like layout. The resulting formal design for the TC's street network and block layout is a key element in creating the envisioned urban development pattern.

It is recognized that as Placer Ranch builds out, roadway alignments and parcel sizes/shapes may evolve to accommodate specific project designs. This is acceptable provided that several internal street connections are maintained to uphold the TC's formal development pattern. The following provisions should be implemented in order to maintain several important street corridors and internal linkages, as illustrated in Figure 6-3:

- **Town Center Lane:** This east/west street links Foothills Boulevard with the university site and should function as the TC's primary "Main Street" corridor. This street should create a strong, linear connection between the mixed-use core, neighborhood shopping area, and apartment sites. Street design should incorporate roundabouts where feasible and buildings should be aligned along the street edges.
- **University Village Drive:** Characterized by its wide medians and extensive tree canopy, this signature street links Foothills Boulevard and Campus Park Drive. North of Sunset Boulevard, it interfaces with the university site and the mixed use core, and street design should create an urban edge. South of Sunset Boulevard, the street interfaces with medium and high-density residential neighborhoods and street design should allow buildings to be aligned along the landscaped parkways.
- **D Street:** This north/south street links the HDR core and MDR villages, and incorporates wide sidewalks and bike lanes to encourage non-automobile mobility. Street design should incorporate roundabouts where feasible and buildings should be aligned along the street edge's landscaped parkways.

This network of streets should establish the framework for development of a mixed-use, urban core, with residential and commercial buildings fronting along street edges. From this framework, the layout of supporting local

streets should continue following the form of a gridded street network. Design requirements for streets are outlined in Section 7 of the Placer Ranch Development Standards.



FIGURE 6-3: STREET NETWORK

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PARCEL EDGES & STREET INTERFACES

The relationship between buildings and streets is an important interface throughout the Town Center. The framework of streets and blocks are intentionally designed to promote development of an urban edge, where commercial and residential buildings are aligned along street edges to ensure that front doors and windows are the backdrop to all streetscapes. To the extent feasible, parking lots, service areas, and ancillary uses should be sited on the interior of parcels, allowing streetscape edges to be defined with building architecture.



The TC should have a very limited use of sound walls along parcel edges. The design intent is that buildings are oriented along the internal street network to create a walkable district. Walls should be limited to those areas where MDR parcels adjoin Sunset Boulevard, Foothills Boulevard, and portions of College Park Drive. For specific provisions for the location of walls in the Plan Area, refer to the Walls & Fences section of the Placer Ranch Development Standards.

To create the envisioned urban form, the following provisions should guide the placement and design of buildings where parcel edges front along the streets listed below. The street interface is illustrated on Figure 6-4.

Sunset Boulevard Street Interface

- * **CMU parcels:** Buildings should be oriented towards the street to the extent feasible, particularly at street intersections. Because the primary commercial frontage is to be focused along Town Center Lane, the facades facing this street may function as the side or rear of commercial businesses. Parking fields should have limited exposure along this edge and should be located on a parcel's interior.
- * **HDR parcels:** Primary building facades should be predominantly aligned along the back edge of landscape corridor, as close to the street as minimum setbacks permit. Automobile access to interior parking fields should not be allowed.
- * **MDR parcels:** Buildings may back up to this edge, allowing home access to occur via local streets provided on the parcel interior. The edge along the landscape corridor should consist of a wall, pursuant to the PRSP Development Standards. Automobile access to a parcel's interior or individual lots should not be allowed.

Foothills Boulevard Street Interface

- * **CMU parcels:** Because these parcels are intended to form a neighborhood shopping center, anchor buildings may be located away from the street edge. However, auxiliary pad buildings should be sited at street corners to architecturally activate all frontages. Parking fields may front along this edge, provided that visible parking is screened. Parcel access should be encouraged at the intersection with Town Center Lane.
- * **HDR parcels:** Primary building facades should be predominantly aligned along the back edge of landscape corridor, as close to the street as minimum setbacks permit. Automobile access to interior parking fields may be permitted.
- * **MDR parcels:** Buildings may back up to this edge, allowing home access to occur via local streets provided on the parcel interior. The edge along the landscape corridor should consist of a wall, pursuant to the PRSP Development Standards. Automobile access to a parcel's interior or individual lots should not be encouraged.

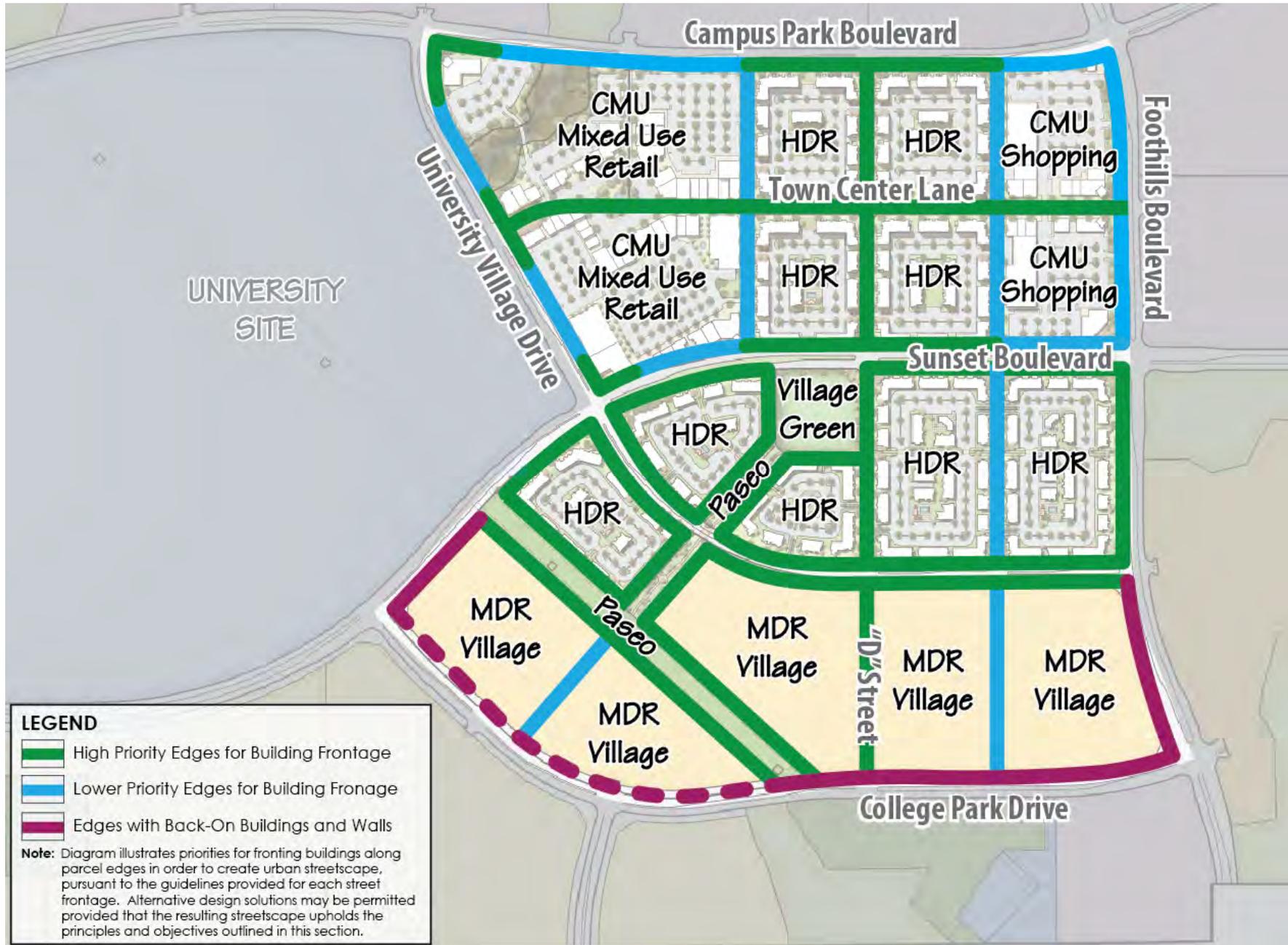


FIGURE 6-4: STREET EDGE PLAN

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Campus Park Boulevard Street Interface

- * **CMU parcels:** Buildings should be oriented towards the street to the extent feasible, particularly at street intersections. Because the primary commercial frontage is to be focused along Town Center Lane, the facades facing this street may function as the side or rear of commercial businesses. Parking fields should have limited exposure along this edge and should be located on parcel interior.
- * **HDR parcels:** Primary building facades should be predominantly aligned along the back edge of landscape corridor, as close to the street as minimum setbacks permit. Automobile access to interior parking fields should not be encouraged.

College Park Drive Street Interface

- * **MDR parcels:** Buildings may back up to this edge, allowing home access to occur via local streets provided on a parcel's interior. The edge along the landscape corridor may consist of a wall, pursuant to Section 9 of the PRDS. Automobile access points may be provided into residential neighborhoods, but not to individual lots.

University Village Drive Street Interface

- * **CMU parcels:** Buildings should be oriented towards the street to the extent feasible, particularly at street intersections. Because the primary commercial frontage is to be focused along Town Center Lane, the facades facing this street may function as the side or rear of commercial businesses. Limited parking fields may front along this edge, provided that visible parking is screened and that most parking is sited on a parcel's interior.
- * **HDR parcels:** Primary building facades should be predominantly aligned along the back edge of landscape corridor, as close to the street as minimum setbacks permit. Automobile access to interior parking fields should be encouraged.
- * **MDR parcels:** Individual homes should front or side along this edge, with buildings located as close to the street as the minimum setback standards allow. Automobile access to individual lots should occur via local streets provided on a parcel's interior and not from this street edge. Walls or fences exceeding 42"-high should not be permitted along this edge to allow home architecture to engage the streetscape and function as the backdrop to the landscape corridor.

Town Center Lane Street Interface

- * **CMU parcels:** This street is planned as the TC's primary retail corridor, particularly in the mixed-use core between the university site and the HDR core. In the mixed-use core, the building massing and design should form a "Main Street" setting. Breaks in building facades should be incorporated at sufficient intervals to provide pedestrian and automobile access to parking fields on a site's interior.

Pursuant to the street design standards in Section 7 of the PRDS, buildings should be aligned along the back edge of the street's multi-purpose easement, which provides for a 15'-wide sidewalk and on-street parking. Ground floor uses should be encouraged to engage with the street by incorporating features such as large glass transparent windows that create unobstructed views of window displays or active uses.

In the neighborhood shopping area, building architecture should wrap anchor commercial buildings in order to activate the street with storefronts and reinforce the urban streetscape between the university site and Foothills Boulevard. A single large user such as a big-box retailer may be required to provide "in-line" storefronts.

- * **HDR parcels:** Because this street functions as the TC's primary retail corridor, buildings should be sited in a manner that reinforces the

“Main Street” setting in the mixed-use core. Primary building facades should be aligned along the back edge of the street’s multi-purpose easement, creating an urban edge a 15’-wide sidewalk and on-street parking. Automobile access to interior parking fields should not be encouraged.

D Street Interface

- * **HDR parcels:** Because this street functions as the TC’s primary north/south linkage, buildings should be sited in a manner that create an urban edge. Primary building facades should be aligned along the back edge of the street’s multi-purpose easement, with a 15’-wide sidewalk and on-street parking, per the street design standards in Section 7 of the PRDS. Automobile access to interior parking fields should be encouraged. Ground floor uses should be encouraged to engage with the street by incorporating features such as large glass transparent windows that allows unobstructed views of window displays or active uses.
- * **MDR parcels:** Individual homes should front or side along this corridor, with buildings located as close to the street as the minimum setback standards allow. Automobile access to individual lots may be allowed, but should be encouraged to occur via local streets provided on the parcel interior. Walls or fences exceeding 42”-high should not be permitted along this edge to allow home architecture to engage the streetscape and function as the backdrop to the landscape corridor.

Park & Paseo Interfaces

- * **HDR parcels:** Primary building facades should be predominantly aligned along park and paseo edges, as close to the property line as minimum setbacks permit. Alternatively, a local roadway with on-street parking may be permitted between HDR parcels and park/paseo parcels, provided that HDR buildings are sited to create an urban edge along the street interface.
- * **MDR parcels:** Individual homes should be encouraged to front or side along paseos. If the side yards are aligned along paseos, pedestrian and automobile access points should be provided at regular intervals in order to incorporate the paseo into each neighborhood’s design. Walls and fences along paseo edges should only be allowed to enclose a home’s side or rear yard. Alternatively, a local roadway may be permitted between MDR parcels and paseos, provided that homes front onto the street/paseo interface and that on-street parking is provided.



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D. Development Standards

All development regulations for the Town Center are provided in the Placer Ranch Development Standards, a companion document to the PRDG. For development in the Town Center, please refer to the following sections of the PRDS for permitted uses, development standards, and other regulations:

- * Section 2 for MDR and HDR development
- * Section 3 for CMU development
- * Section 6 for Park and OS Paseo uses
- * Section 7 for streets and multi-use trails

E. Entrance Gateways and District Identifiers

The Town Center is envisioned as a well-defined and easily-identifiable district in Placer Ranch. To reinforce its sense of place, entry feature monumentation and signage should be provided along major roadways at transition points in/out of the TC. Additionally, way-finding signage should be provided throughout the district to direct pedestrians, bicyclists, and drivers to key amenities and destination points in the Town Center.

Prior to development commencing in the Town Center, a master sign program should be developed that augments the master design palette created for Placer Ranch's community-wide entry features and signage, which establishes a unique, yet compatible theme for community signage within the Town Center district. The location and design of entry features is outlined in Section 3 of these Design Guidelines and Section 8 of the PRDS.

F. Street Fixtures and Furnishings

To further define the visual character of the Town Center, a coordinated design palette should be developed for street fixtures and furnishings. Elements such as street lights, street signs, bus shelters, banners, benches, trash receptacles, and other street furniture should have a consistent theme. The design of these items should be drawn from a single palette of materials, finishes, and colors that visually complement the design concept for entry features, as illustrated in Section 3 of these Design Guidelines. The intent is to strengthen the TC's sense of place by repeating thematic street fixtures and furnishings throughout the district.



Prior to construction of roadways in the TC district, a master design palette shall be developed that that establishes a design concept and material/color palette for street fixtures and furniture in the TC. The palette should build upon the design concept for Placer Ranch's entry features and signage, utilizing a uniform palette of materials, finishes, and colors. The design goal is to reflect the civic nature of Placer Ranch and reinforce the TC's proximity to the university site.