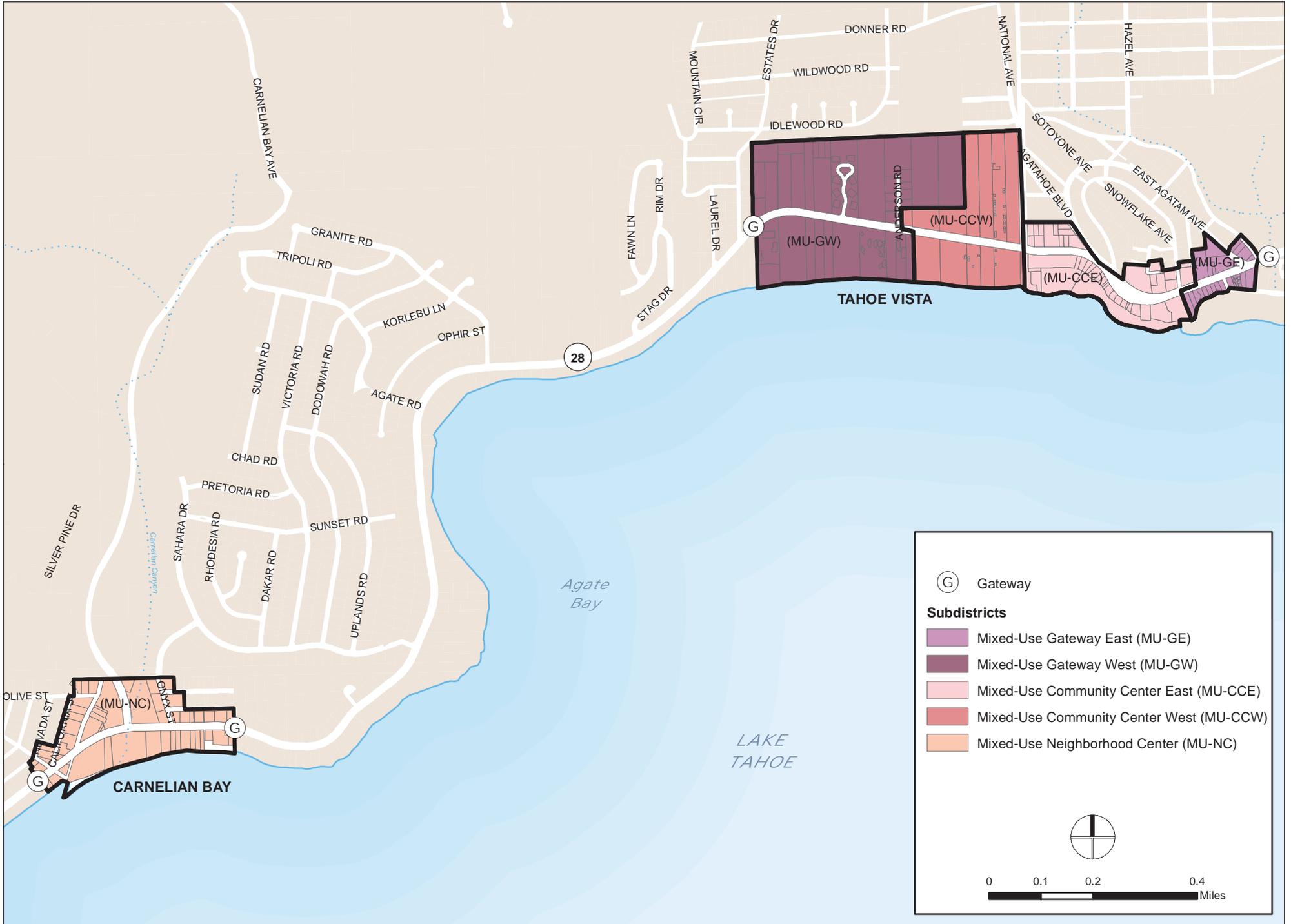


NORTH TAHOE WEST: MIXED USE SUBDISTRICTS



3. **Permissible Uses.** The following primary uses may be permitted within all or a portion of the subdistricts. The list indicates if the use is Allowed (A), subject to an Administrative Review Permit (C), or must be considered under the provisions for a Conditional Use Permit (CUP) or Minor Use Permit (MUP). Existing uses not listed shall be considered nonconforming uses within these subdistricts. The establishment of new uses not listed shall be prohibited. Numbers in parentheses (#) refer to specific limitations listed at the end of the table.

TABLE 2.04.C-1: LAND USE REGULATIONS – NORTH TAHOE WEST MIXED-USE SUBDISTRICTS						
	<i>Village Center Subdistricts</i>					
<i>Use</i>	<i>MU-GW</i>	<i>MU-CCW</i>	<i>MU-CCE</i>	<i>MU-GE</i>	<i>MU-NC</i>	<i>Add'l Regs</i>
Residential						
Single Family Dwelling	MUP (2)	MUP (3)	MUP (3)	A (2)	A (1)	
Multiple Family Dwellings	MUP (2)	MUP (3)	MUP (3)	MUP (2)	MUP (1)	
Multi-Person Dwellings	MUP	MUP		MUP		
Employee Housing	MUP	MUP	MUP	MUP	MUP	
Residential Care		MUP		MUP		
Tourist Accommodation						
Bed and Breakfast Facilities	A	A	MUP	A	A	
Hotels, Motels and Other Transient Dwelling Units	MUP (20 units or more, CUP)	MUP (20 units or more, CUP)	CUP	CUP	MUP (20 units or more, CUP)	
Timeshare (Hotel/Motel Design)	CUP	CUP	CUP	CUP	CUP	
Timeshare (Residential Design)	CUP	CUP	CUP	CUP	CUP	
Commercial						
Auto, Mobile Home and Vehicle Dealers		CUP	CUP			
Building Materials and Hardware		MUP			MUP	
Eating and Drinking Places	A	A	A	CUP	A	
Food and Beverage Retail Sales	A	A	A		A	
Furniture, Home Furnishings and Equipment		MUP			A	
General Merchandise Stores	A	A	A		A	
Mail Order and Vending		A				
Nursery	MUP	A			A	
Outdoor Retail Sales		MUP	MUP			

TABLE 2.04.C-1: LAND USE REGULATIONS – NORTH TAHOE WEST MIXED-USE SUBDISTRICTS						
	<i>Village Center Subdistricts</i>					
<i>Use</i>	<i>MU-GW</i>	<i>MU-CCW</i>	<i>MU-CCE</i>	<i>MU-GE</i>	<i>MU-NC</i>	<i>Add'l Regs</i>
Service Stations		CUP			CUP	
Amusements and Recreation Services	CUP	CUP	CUP		CUP	
Privately Owned Assembly and Entertainment	CUP	CUP				
Outdoor Amusements	CUP	CUP			CUP	
Animal Husbandry (Services)		MUP				
Broadcasting Studios	MUP	A	MUP		A	
Business Support Services		MUP			MUP	
Contract Construction Services		MUP			MUP	
Financial Services		A			A	
Health Care Services		MUP			A	
Personal Services		A	MUP		A	
Professional Offices		A	MUP		A	
Repair Services		MUP			MUP	
Schools – Business and Vocational		CUP			CUP	
Secondary Storage	MUP	MUP	MUP	MUP	MUP	
Small Scale Manufacturing		MUP	MUP	MUP		
Vehicle Storage and Parking	MUP	MUP	MUP	MUP	MUP	
Public Service						
Religious Assembly		A			MUP	
Collection Stations		A	A			
Cultural Facilities	MUP	A	MUP	MUP	A	
Day Care Centers/Pre-Schools	A	A	A	A	A	
Government Offices		MUP			MUP	
Hospitals		CUP				
Local Assembly and Entertainment	MUP	A			MUP	
Local Post Offices	A	A			A	
Local Public Health and Safety Facilities	MUP	A	MUP	MUP	A	
Membership Organizations					MUP	

TABLE 2.04.C-1: LAND USE REGULATIONS – NORTH TAHOE WEST MIXED-USE SUBDISTRICTS						
	<i>Village Center Subdistricts</i>					
<i>Use</i>	<i>MU-GW</i>	<i>MU-CCW</i>	<i>MU-CCE</i>	<i>MU-GE</i>	<i>MU-NC</i>	<i>Add'l Regs</i>
Publicly Owned Assembly and Entertainment	MUP	MUP				
Public Utility Centers					MUP	
Schools - Kindergarten through Secondary					MUP	
Social Service Organizations		A			MUP	
Pipelines and Power Transmission	CUP	CUP	CUP	CUP	CUP	
Transit Stations and Terminals	CUP	CUP	CUP	CUP	CUP	
Transmission and Receiving Facilities (4)	MUP	MUP	MUP	MUP	MUP	
Transportation Routes	CUP	CUP	CUP	CUP	CUP	
Recreation						
Day Use Areas	A	A	A	A	A	
Participant Sports (Facilities)	MUP	MUP			A	
Beach Recreation	A	A	A	MUP	A	
Boat Launching Facilities	CUP	CUP	A		A	
Cross Country Skiing Courses	A	A				
Developed Campgrounds	CUP					
Group Facilities	MUP					
Marinas		CUP	A		CUP	
Outdoor Recreation Concessions	A	A	A	MUP	A	
Recreation Center	MUP	MUP				
Recreational Vehicle Park	CUP					
Riding and Hiking Trails	A	MUP				
Rural Sports	CUP	CUP				
Snowmobile Courses	CUP	CUP				
Undeveloped Campgrounds						
Visitor Information Center	MUP	MUP	MUP		MUP	
Resource Management						
Reforestation	A	A	A	A	A	
Sanitation Salvage Cut	A	A	A	A	A	

TABLE 2.04.C-1: LAND USE REGULATIONS – NORTH TAHOE WEST MIXED-USE SUBDISTRICTS						
	<i>Village Center Subdistricts</i>					
<i>Use</i>	<i>MU-GW</i>	<i>MU-CCW</i>	<i>MU-CCE</i>	<i>MU-GE</i>	<i>MU-NC</i>	<i>Add'l Regs</i>
Thinning	A	A	A	A	A	
Tree Farms	A	A	A	A	A	
Early Successional State Vegetation Management	A	A	A	A	A	
Nonstructural Fish Habitat Management	A	A	A	A	A	
Nonstructural Wildlife Habitat Management	A	A	A	A	A	
Structural Fish Habitat Management	A	A	A	A	A	
Structural Wildlife Habitat Management	A	A	A	A	A	
Fire Detection and Suppression	A	A	A	A	A	
Fuels Treatment (/Management)	A	A	A	A	A	
Insect and Disease Suppression	A	A	A	A		
Sensitive Plant Management	A	A	A	A	A	
Uncommon Plant Community Mgmt.	A	A	A	A	A	
Erosion Control	A	A	A	A	A	
Runoff Control	A	A	A	A	A	
SEZ Restoration	A	A	A	A	A	
Notes:						
(1) Residential uses are discouraged on the ground floor along Highway 28 and Carnelian Woods Ave.						
(2) Residential uses are discouraged on the ground floor along Highway 28.						
(3) Residential uses are discouraged on the ground floor along Highway 28 west of Pino Grande Ave.						
(4) Facilities that are not visually obtrusive may be eligible for an Administrative Approval per Placer County Code Section 17.56.060.F.						

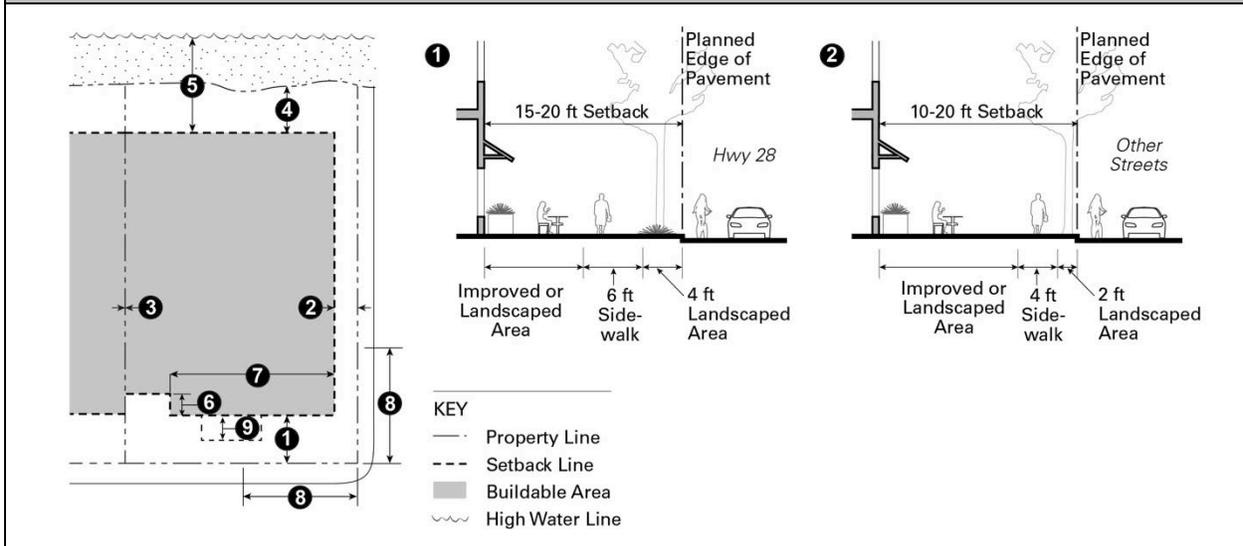
4. **Development Standards.** Tables 2.04.C-2, 2.04.C-3, and 2.04.C-4 prescribe the development standards for the North Tahoe West Mixed-Use subdistricts.

TABLE 2.04.C-2: DENSITY, BUILDING HEIGHT, RECREATION AND NOISE STANDARDS – NORTH TAHOE WEST MIXED-USE SUBDISTRICTS					
	<i>Village Center Subdistricts</i>				
	<i>MU-GW</i>	<i>MU-CCW</i>	<i>MU-CCE</i>	<i>MU-GE</i>	<i>MU-NC</i>

TABLE 2.04.C-2: DENSITY, BUILDING HEIGHT, RECREATION AND NOISE STANDARDS – NORTH TAHOE WEST MIXED-USE SUBDISTRICTS					
	<i>Village Center Subdistricts</i>				
	<i>MU-GW</i>	<i>MU-CCW</i>	<i>MU-CCE</i>	<i>MU-GE</i>	<i>MU-NC</i>
Maximum Density (Units/acre unless otherwise indicated)					
<i>Single Family Dwelling (du/parcel)</i>	1	1	1	1	1
<i>Multiple Family Dwelling</i>	15	15	15	15	15
<i>Multi-Person Dwelling (people per acre)</i>	25	25		25	
<i>Residential Care (people per acre)</i>		25		25	
<i>Employee Housing (units per acre)</i>	As per the limitations above	As per the limitations above	As per the limitations above	As per the limitations above	15
Tourist Accommodation					
<i>Bed and Breakfast Facilities</i>	10	10	10	10	10
<i>Hotel, Motel and Other Transient Dwelling Units with less than 10% of units with kitchens</i>	40	40	40	40	40
<i>Hotel, Motel and Other Transient Dwelling Units with 10% or more units with kitchens</i>	15	15	15	15	15
<i>Timeshare (units per acre)</i>	As set forth above	As set forth above	As set forth above	As set forth above	15
Recreation					
<i>Developed Campgrounds (sites per acre)</i>	8				
<i>Group Facilities (persons per acre)</i>	25				
<i>Recreational Vehicle Park (sites per acre)</i>	10				
Building Height	TRPA Code of Ordinances Chapter 37				
Additional Developed Outdoor Recreation	-	-	-	-	Summer Day Uses: 40 PAOT
Maximum Community Noise Equivalent Level (CNEL)	55	65	55	55	60
	Where applicable, a maximum 55 CNEL override is permissible for the Highway 28 Corridor				
Hourly L_{eq} , dB	Daytime (7a.m.-7p.m.): 55; Nighttime (7p.m.-7a.m.): 45 Levels should be lowered by five dB for simple tone noises				
Maximum Level, dB	Daytime (7a.m.-7p.m.): 75; Nighttime (7p.m.-7a.m.):				

TABLE 2.04.C-2: DENSITY, BUILDING HEIGHT, RECREATION AND NOISE STANDARDS – NORTH TAHOE WEST MIXED-USE SUBDISTRICTS					
	<i>Village Center Subdistricts</i>				
	<i>MU-GW</i>	<i>MU-CCW</i>	<i>MU-CCE</i>	<i>MU-GE</i>	<i>MU-NC</i>
	65				
<p>In the MU-NC Subdistrict, each of the noise levels specified above should be lowered by five dB for simple tone noises, noises consisting primarily of speech or music, or for recurring impulsive noises.</p>					

TABLE 2.04.C-3: BUILDING PLACEMENT STANDARDS AND GUIDELINES – NORTH TAHOE WEST MIXED-USE SUBDISTRICTS



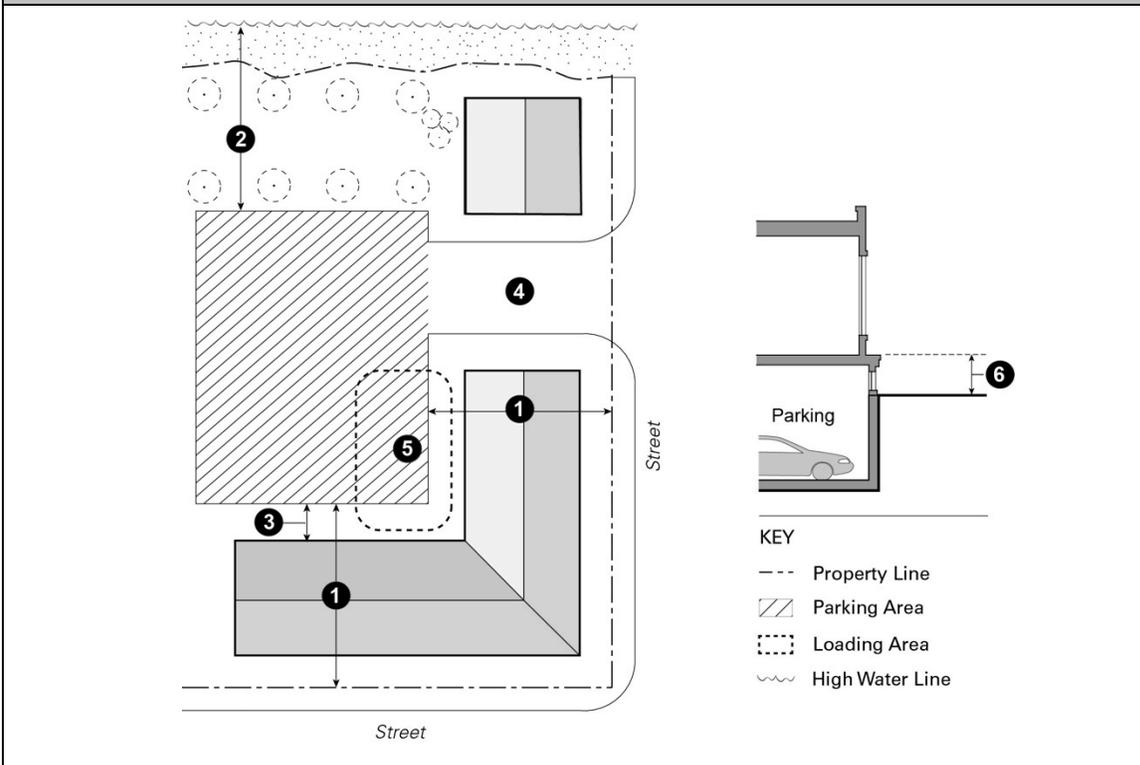
<i>Village Center Subdistrict</i>				
	<i>MU-G</i>	<i>MU-CC</i>	<i>MU-NC</i>	#
Minimum Setbacks				
<i>Street Frontage, Hwy 28 (from edge of pavement)</i>	15 ft min, 20 ft max. First 4 ft should be a landscaped parkway followed by a minimum 6 ft sidewalk. This guideline may be waived by the Design Review Committee were topographical features preclude sidewalk construction and alternative pedestrian access exists (a)			1
<i>Street Frontage, Other Streets (from edge of pavement)</i>	10 ft min, 20 ft max. First 2 ft should be a landscaped snow easement followed by a 4 ft sidewalk (a)			2
<i>Interior Side (from property line)</i>	0 ft; 10 ft landscaped setback required adjacent to residential use			3
<i>Rear (from property line)</i>	20 ft		10 ft	4
<i>Lake Tahoe</i>	Per TRPA Code of Ordinances			5
<i>Attached garage</i>	2 ft from primary façade			6
Minimum Building Frontage at the Build-to Line (% of linear street frontage)	40% (b)	30% (b)	30% (b)	7
Corner Build Area	30 ft (c)	30 ft (c)	30 ft (c)	8
Maximum Projection into Front Setback	Awnings and overhangs to provide a covered walkway, public plaza, or outdoor eating area may project up to 50% of the required setback, but not into any public right-of-way.			9

- a. Street Frontage Improvements. New development, including substantial alterations of existing properties (total floor area of the proposed alteration, not including any internal alteration, is more than 50 percent of the floor area of the original building), shall provide street frontage improvements in accordance with the following or an approved area wide improvement plan:
 - i. **Building Frontage.** The area between the building frontage and back of sidewalk or edge of pavement where there is no sidewalk, shall be improved so that it functions as part of the wider sidewalk, improved as outdoor eating or seating areas (subject to Placer County Code, Section 17.56.160, Outdoor Retail Sales), or landscaped.
 - ii. **Street Trees.** If located in sidewalk tree wells, trees shall be planted at minimum 20 feet on center along the Highway 28 street frontage. Otherwise, street trees shall be planted at least 40 or 50 feet on center depending on species selected.
 - iii. **Curb.** Six inch vertical concrete curb at sidewalks or rolled curbs with gutter or valley gutter where sidewalks are not planned.
 - iv. **Pedestrian Street Lights.** Twelve foot high pedestrian lights at 50 feet on center or low-level lights 25 feet on center along Highway 28.
- b. Build-to Line for Nonresidential Uses. Buildings with non-residential uses on the ground floor shall be constructed at the required setback for the identified percent of linear street frontage. This requirement may be modified or waived with project approval upon finding that:
 - i. Entry courtyards, plazas, entries, or outdoor eating and display areas are located between the build-to line and building, provided that the buildings are built to the edge of the courtyard, plaza, or dining area;
 - ii. The building incorporates an alternative entrance design that creates a welcoming entry feature facing the street; or
 - iii. The building placement is necessary to allow significant views of the lake.
- c. Corner Build Area. Where feasible and compatible with environmental constraints, buildings with nonresidential uses on the ground floor should be located in accordance with the required setbacks within 30 feet of any street corner. Public plazas may be at the street corner provided buildings are built to the edge of the public plaza.
- d. Building Transparency; Required Openings for Retail and Service Uses. Exterior walls facing and within 20 feet of a front or street side property line should include windows, doors, or other openings for 50 percent of the building wall area located between 2.5 and seven feet above ground level. Openings fulfilling this requirement shall have transparent glazing and provide views into work areas, display areas, sales areas, lobbies, or

similar active spaces, or into window displays that are at least three feet deep.

- i. **Exceptions for Parking Garages.** Multi-level garages are not required to meet the building transparency requirement of this subsection. Instead, they must be either located behind buildings or screened with a landscaped area at least 10 feet wide between the parking garage and public street.

TABLE 2.04.C-4: PARKING AND ACCESS STANDARDS AND GUIDELINES – NORTH TAHOE WEST MIXED-USE SUBDISTRICTS



	Village Center Subdistrict			
	MU-G	MU-CC	MU-NC	#
Minimum Setback from Edge of Traveled Way	20 ft(e)			1
Minimum Setback from Lake Tahoe	40 ft or per TRPA Code of Ordinances, whichever is greater			2
Setback from Buildings and Public Plazas	5 ft walkway and/or landscaping			3
Access Location	Side street or rear wherever possible			4
Shared Access	See additional regulations (f)			
Curb Cuts	Minimized and in areas least likely to impede pedestrian circulation			

TABLE 2.04.C-4: PARKING AND ACCESS STANDARDS AND GUIDELINES – NORTH TAHOE WEST MIXED-USE SUBDISTRICTS		
Loading/Service Areas	Side or rear of lot is preferred; Loading and service areas should be screened from the public right-of-way	5
Parking Podium	Maximum height of a parking podium located within the parking lot setback and visible from the street should be no greater than 3 feet from finished grade.	6

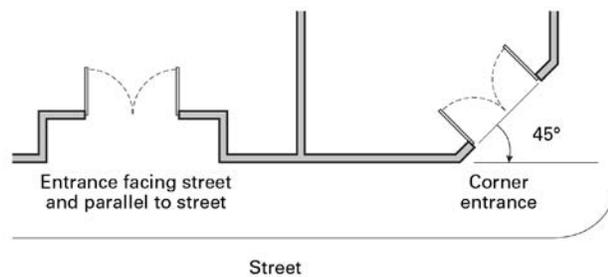
- e. Limitations on Location of Parking. Buildings should be placed as close to the street as possible, with parking behind a building, or on the interior side or rear of the site. Parking may be located within the required setback, subject to the following requirements.
 - i. **Underground and Partially Submerged Parking.** Parking completely or partially underground (with maximum three feet above ground), may match the setbacks of the main structure.
 - ii. **Surface Parking.** Aboveground surface parking may be located within 20 feet of a street facing edge of traveled way with the approval of a project when the following findings are made:
 - (1) Buildings are built close to the public sidewalk to the maximum extent feasible;
 - (2) The parking area is screened along the public right-of-way with a wall, hedge, trellis, and/or landscaping;
 - (3) The site is small and constrained such that parking located more than 20 feet from the street frontage is not feasible; and
 - (4) County Public Works determines traffic impacts from vehicle queuing and backing into the right-of-way are mitigated.

- f. Shared Access. To encourage shared parking and shared access points on public streets, new parking facilities for Retail Trade or Service Uses should be designed to accommodate cross-access to / from adjacent properties to allow parking areas to become joint use facilities even if initially serving only one development. When cross-access for vehicles is deemed impractical by the Design Review Committee, the requirement for cross-access may be waived with project approval if bicycle or pedestrian connections are provided between adjacent development.

- g. Building Orientation and Entrances.
 - i. Buildings should be oriented to face public streets.
 - ii. Building frontages shall be generally parallel to streets, and the primary building entrances should be located on a public street.

- iii. Building entrances should be emphasized with special architectural and landscape treatments.
- iv. Entrances located at corners shall generally be located at a 45 degree angle to the corner and should have a distinct architectural treatment to animate the intersection and facilitate pedestrian flow around the corner. Different treatments may include angled or rounded corners, arches, and other architectural elements. All building and dwelling units located in the interior of a site should have entrances from the sidewalk that are designed as an extension of the public sidewalk and connect to a public sidewalk.
- v. Entrances to residential units should be physically separated from the entrance to the permitted commercial uses and clearly marked with a physical feature incorporated into the building or an appropriately scaled element applied to the façade.

FIGURE 2.04(C)(4.A): BUILDING ORIENTATION AND ENTRANCES



- h. **Building Design and Articulation.** Buildings shall provide adequate architectural articulation and detail to avoid a bulky and “box-like” appearance. Building design shall reflect “Old Tahoe” or “Historic Alpine” architectural features, which promote the rustic, alpine character of the area and include the following:
 - i. **Exterior Building Materials and Colors.**
 - (1) A unified palette of non-reflective, natural materials such as stone and wood shall be used on all sides of buildings.
 - (2) Rustic exterior colors shall be used to blend the building into the forest canopy.
 - ii. **Building Details.** Buildings shall provide adequate architectural articulation and detail to avoid a bulky and “box-like” appearance and designs shall consider the effects of snow and ice on building access.
 - (1) Building façades shall include building projections or recesses, doorway and window details, shutters, awnings, window boxes, natural stone or wood materials,

and other details that provide architectural articulation and design interest.

- (2) Clip-gambrel roofs, shed roofs, upper-floor balconies, covered walkways, and other architectural elements should be used, as appropriate, to terminate rooflines and accentuate setbacks between stories.
 - (3) All applied surface ornamentation or decorative detailing shall be consistent with the architectural style of the building.
 - (4) Each side of the building that is visible from a public right-of-way, shoreline, or publicly accessible open space shall be designed with a complementary level of detailing. Particular attention shall be given to the detailing within the pedestrian's range of touch and view, such as the use of special store-front detailing and façade ornamentation to reinforce the pedestrian character of the street.
 - (5) Building designs shall account for the frequent presence of snow and ice consistent with Section 3.09.D, Design for Snow. Appropriate design strategies may include:
 - (a) Location of entrances under the gable ends of pitched roofs;
 - (b) Limiting the location of entrances, stairs, or walkways under the drip line of roof eaves;
 - (c) Covering of stairs and walkways;
 - (d) Use of snow cleats on roofs to prevent rapid shedding of snow and ice;
 - (e) Limiting the extension of open or uncovered balconies into the roof area;
 - (f) Use of heating elements to reduce snow shedding off of roofs; or
 - (g) Consideration of composition roofs over metal roofing materials.
- i. Pedestrian Connections. A minimum five-foot-wide unobstructed pedestrian access should be provided from on-site vehicle and bicycle parking area to the main entrance of buildings, to adjacent public amenities such as the beach, shoreline, or viewpoints, and to public trails or transit stops located along the street frontage.
 - j. Residential Open Space. For residential and mixed-use projects with residential uses, 75 square feet of private or common open space area should be provided per dwelling unit. Private areas typically consist of balconies, decks, patios, fenced yards, and other similar areas adjacent to private units. Common areas typically consist of landscaped areas, walks,

patios, barbeque areas, or other such improvements as are appropriate to enhance the outdoor environment of the development. Landscaped courtyard entries that are oriented towards a public street are considered common areas.

i. **Minimum Dimensions.**

- (1) Private Open Space. Private open space should have no horizontal dimension less than six feet.
- (2) Common Open Space. Common open space should have no horizontal dimension of less than 20 feet.

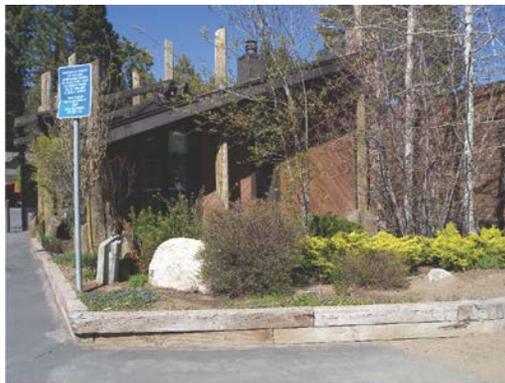
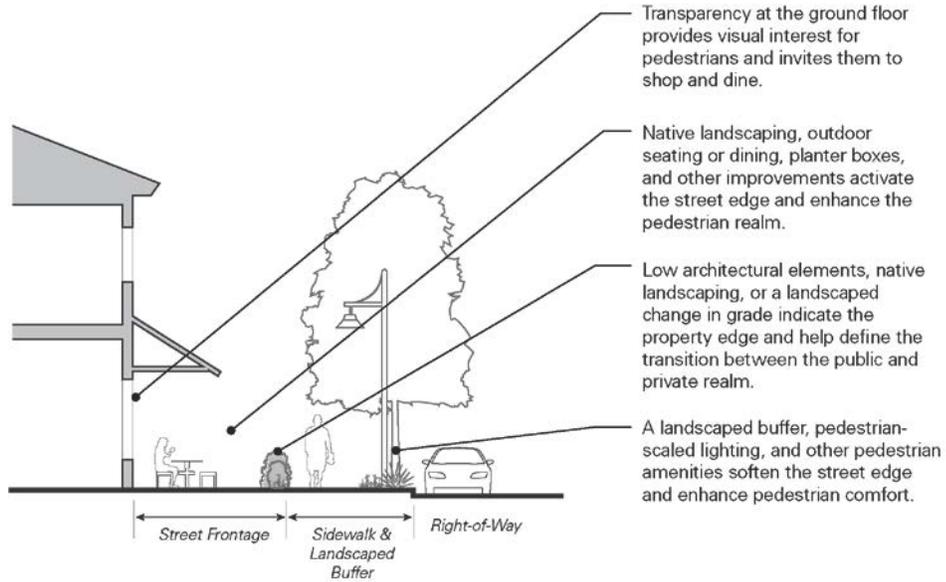
ii. **Usability.** A surface should be provided that allows convenient use for outdoor living and/or recreation. Such surface may be any practical combination of lawn, garden, flagstone, wood planking, concrete, or other serviceable, dust-free surfacing. Seating areas and plazas should be located in areas with good solar exposure.

iii. **Accessibility.**

- (1) Private Open Space: The space should be accessible to only one living unit by a doorway to a habitable room or hallway.
- (2) Common Open Space: The space should be accessible to the living units on the lot. It should be served by any stairway or other accessway qualifying as an egress facility from a habitable room.

5. **Design Guidelines.**

- a. **Street Frontage Design.** Design front setbacks that maintain the mountain character of scenic Highway 89 and other neighborhood streets. Incorporate varied landscaping with a combination of trees, shrubs, and ground-cover, as well as changes in elevation or landscaped edges. Avoid heavily manicured or uniform landscape palettes.



An assortment of native landscaping is appropriate for all front setbacks. Low walls or bollards should be used to indicate property lines.



Front setbacks should be designed to provide attractive landscaping and architectural features as well as active uses and ground floor transparency.

b. Building Form and Design.

- i. **Building Articulation and Visual Interest at the Ground Level.** Vary building planes along the street frontage. Incorporate ground-level building details to create a pedestrian-oriented environment with a rural transitional character. Illustrations demonstrate preferred architectural detailing and articulation regardless of building height, size, and massing.



- ii. **Materials.** Employ a variety of building finish materials in the Old Tahoe or Historic Alpine style. Finishes should be wooden panels, masonry, logs, boards and batten, composite shingle siding, shiplap siding, heavy v-joint siding, and metal or composite roofs.
- iii. **Colors.** Design buildings exteriors in the subdued colors of historic Old Tahoe or Historic Alpine style. These include earthy and natural colors that blend well with the alpine forest (reddish-brown, brown, tan, ochre, umber, sand, and dark green). Limit the use of bright-colored building materials and finishes, especially along scenic corridors.
- iv. **Roof Design.** Design sloped roofs with a minimum slope of 3:12. Roof forms may include gable, hip, and gambrel roofs, and lowered eave lines with dormer windows on upper levels are encouraged. Changes in roof heights are encouraged to prevent boxy buildings. Where flat roofs are used, provide architectural cornices to enhance the roofline. Authentic roof forms that cover the entire width and depth of buildings are preferred over superficial roof forms, such as mansards, that are affixed to the building.

Pitched roofs help reduce snow load and reflect local architectural styles.

Buildings designed with a variety of materials lend visual interest to the built environment and are consistent with local style.

Colors blend in with the environment. Bright colors may be used for accent.



c. Building Entrances.

- i. **Entrance Design.** Building entrances should be designed to reflect the Old Tahoe Style and should be highlighted with covered architectural elements, pedestrian-scaled signage, paving, and building transparency. Walkways or stairways leading to the building entrance should be clearly visible from the right-of-way and from adjacent development.

Landscaping and architectural elements such as porches, gables, and columns highlight building entrances.

Entrances parallel to the street help activate the pedestrian environment.



d. Shorezone Design.

- i. **View Protection.** Orient pedestrian paths and vehicular circulation to maximize and protect shoreline views from public rights-of-way. Identify areas that best allow lake views and design buildings and landscaping to maximize visual access. Where buildings, structures, or parking or loading areas can be seen within a scenic corridor, minimize the impact with vegetation, landforms, or colors and materials that blend with the surroundings.

Buildings adjacent to pedestrian paths should not obstruct the lake view. Height, material, colors, and siting should protect and complement lake views.

The placement of open space adjacent to a pedestrian path opens up the view of the lake.

Smaller trees and shrubs should be located near the lake end of access paths to protect views.



- ii. **Access.** Provide clearly demarcated public access to the shore-zone from public rights-of way. Incorporate landscaped edges, furniture, changes in elevation, and paving, while ensuring that all landscape design is sensitive to the natural habitat. When located adjacent to a parking area, design the access path to be visually distinct from the parking area.

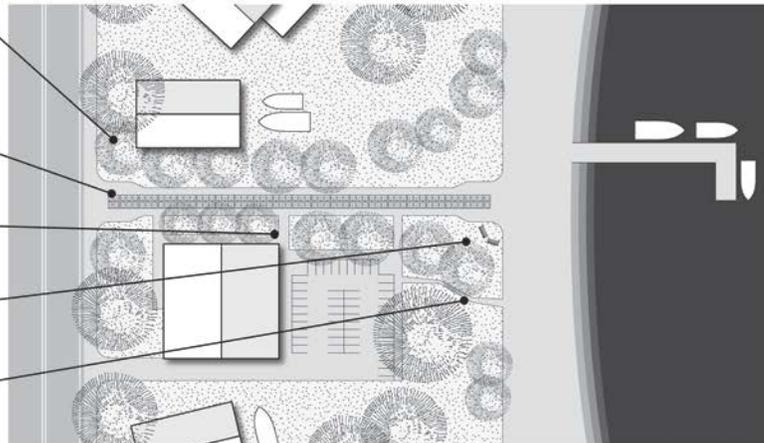
Design landscaping to preserve visibility of shoreline access. Locate smaller trees and shrubs near paths entrances and highlight paths with accent landscaping.

Enhance access paths with landscaped edges, paving, seating, and/or signage.

Maximize access by joining pedestrian connections with shoreline access paths.

Provide recreational facilities, dining or other amenities within the lake setback.

Provide informal paths where appropriate and ensure that they are sensitive to the natural shoreline habitat.



6. **Shorezone.** Within the specified shorezone tolerance district, the following primary uses may be permitted by TRPA in the backshore, nearshore, and fore-shore. Accessory structures shall be regulated pursuant to the regulations applicable to the primary use upon which they are dependent in accordance with the TRPA Code of Ordinances. The following structures may be permitted by TRPA in the shorezone as an Allowed (A) or Special (S) use only if they are accessory to an existing, allowed use located on the same or adjoining littoral parcel.

TABLE 2.04.B-6: SHOREZONE – NORTH TAHOE EAST MIXED-USE SUBDISTRICTS		
<i>Tolerance Districts</i>	<i>6</i>	<i>7</i>
Maximum Community Noise Equivalent Level (CNEL)		
Shorezone	55	55
Lakezone	50	50
Primary Uses		
Water-Oriented Outdoor Recreation Concessions	S	S
Beach Recreation	A	A
Waterborne Transit	A	A
Tour Boat Operations	S	S
Safety and Navigation Facilities	A	A
Marinas	S	S
Boat Launching Facilities	S	S
Salvage Operations	S	S
Accessory Structures		
Buoys	A	A
Piers	A	A
Fences	S	S
Boat Ramps	A	A
Breakwaters or Jetties	S	S
Shoreline Protective Structures	S	S
Water Intake Lines	A	A
Floating Platforms and Docs	A	A

D. **West Shore Mixed-Use Subdistricts.**

1. **Purpose.** The purposes of the West Shore Mixed-Use Subdistricts are to:
 - a. Encourage a mix of uses that promotes convenience, economic sustainability, community gathering, and a pleasant quality of life.
 - b. Promote pedestrian- and transit-oriented, mixed-use community centers at appropriate locations.
 - c. Establish design standards that improve the visual quality of development and create a unified and attractive character.
 - d. Provide central community gathering places where residents and visitors can enjoy a range of small-scale commercial, retail, service, and tourist accommodation uses in a forested, alpine atmosphere and serene, walkable environment with a small town feel. The purpose of the district is to also encourage a mix of uses that promotes convenience, economic vitality, and a pleasant quality of life with improved access to recreational activities.

2. **Planning Statements.** Planning statements for each Mixed-Use Subdistrict are as follows:
 - a. Tahoma Village Center Subdistrict. This area should continue as a neighborhood tourist commercial area; however, there is a need for rehabilitation while maintaining the scale and character of the west shore.
 - i. **Special Designations** (*See Section 3.14*)
 - (a) TDR Receiving Area for Existing Development.
 - ii. **Special Policies:**
 - (1) This is the closest commercial area to Sugar Pine State Park, Bliss State Park and Meeks Bay and, as such, further upgrades as a local commercial center should be encouraged to meet tourist and camper needs. The possible growth and expansion of these two recreational facilities should be coordinated.

 - b. Homewood Village Center Subdistrict. This area should continue to be a tourist commercial area. However, there is a need for rehabilitation while maintaining the scale and character of the west shore.
 - i. **Special Designations** (*See Section 3.14*)
 - (a) TDR Receiving Area for Existing Development.
 - ii. **Special Policies:**
 - (1) Planning for development of this area should include consideration of the adjoining ski areas, as well as marina master planning.
 - (2) The marina should be upgraded to accommodate boating needs.

- (3) Tourism and recreation compatible with the historic nature development should be encouraged in this area.
 - (4) Outdoor seasonal events shall be regulated in a manner to reduce conflicts with neighboring residential uses and to minimize environmental impacts.
- c. Sunnyside Village Center Subdistrict. The current and future uses should be directed towards the needs of tourists. The area to the west of Highway 89 should be rehabilitated to improve the scenic quality of the area while maintaining the west shore scale and character.
 - i. **Special Designations** (*See Section 3.14*)
 - (a) TDR Receiving Area for Existing Development.
 - ii. **Special Policies:**
 - (1) Upgrading of existing facilities should be consistent with the historical character of the area

WEST SHORE: MIXED USE SUBDISTRICTS



3. **Permissible Uses.** The following primary uses may be permitted within all or a portion of the subdistricts. The list indicates if the use is Allowed (A), subject to an Administrative Review Permit (C), or must be considered under the provisions for a Conditional Use Permit (CUP) or Minor Use Permit (MUP). Existing uses not listed shall be considered nonconforming uses within these subdistricts. The establishment of new uses not listed shall be prohibited.

TABLE 2.04.D-1: LAND USE REGULATIONS – WEST SHORE MIXED-USE SUBDISTRICTS				
<i>Use</i>	<i>Tahoma Village Center</i>	<i>Homewood Village Center</i>	<i>Sunnyside Village Center</i>	<i>Add'l Regs</i>
Residential				
Single Family Dwelling	A	A	A	
Multiple Family Dwellings	MUP	MUP	MUP	
Employee Housing	MUP	MUP	MUP	
Residential Care	MUP			
Nursing and Personal Care	MUP			
Tourist Accommodation				
Bed and Breakfast Facilities	A	A	A	
Hotels, Motels and Other Transient Dwelling Units	CUP	CUP	CUP	
Timeshare (Hotel/Motel Design)	CUP	CUP	CUP	
Timeshare (Residential Design)	CUP	CUP		
Commercial				
Auto, Mobile Home and Vehicle Dealers	CUP	CUP	CUP	
Building Materials and Hardware	MUP	MUP	MUP	
Eating and Drinking Places	A	A	A	
Food and Beverage Retail Sales	A	A	A	
Furniture, Home Furnishings and Equipment	MUP	MUP	MUP	
General Merchandise Stores	A	A	A	
Mail Order and Vending	A	A	A	
Nursery	A	A	A	
Outdoor Retail Sales	A	MUP	MUP	
Service Stations	A	A	A	
Amusements and Recreation Services	CUP	CUP	CUP	
Outdoor Amusements	CUP	CUP		
Animal Husbandry	MUP	MUP		
Auto Repair and Service	MUP	MUP		

TABLE 2.04.D-1: LAND USE REGULATIONS – WEST SHORE MIXED-USE SUBDISTRICTS				
<i>Use</i>	<i>Tahoma Village Center</i>	<i>Homewood Village Center</i>	<i>Sunnyside Village Center</i>	<i>Add'l Regs</i>
Broadcasting Studios	A	A	A	
Business Support Services	A	A	A	
Contract Construction Services	MUP	MUP	MUP	
Financial Services	A	A	A	
Health Care Services	A	A	A	
Laundries and Dry Cleaning Plants	MUP			
Personal Services	A	A	A	
Professional Offices	A	A	A	
Repair Services	A	A	A	
Secondary Storage	MUP	MUP	MUP	
Small Scale Manufacturing	MUP	MUP		
Vehicle Storage And Parking	MUP	MUP	MUP	
Warehousing	MUP	MUP		
Public Service				
Pipelines and Power Transmission	CUP	CUP	CUP	
Public Utility Centers	MUP	MUP	MUP	
Transmission and Receiving Facilities (1)	MUP	MUP	MUP	
Transportation Routes	CUP	CUP	CUP	
Government Offices		MUP		
Transit Stations and Terminals	CUP	CUP	CUP	
Airfields, Landing Strips and Heliports (New Non-Emergency Sites Prohibited)		CUP		
Religious Assembly	A	A	MUP	
Cultural Facilities	A	A	A	
Day Care Centers/Pre-Schools	A	A	A	
Local Assembly and Entertainment	A	A	A	
Local Post Offices	A	A	A	
Local Public Health and Safety Facilities	A	A	A	
Membership Organizations	MUP	A	A	
Schools – Kindergarten through Secondary	MUP	A		
Social Service Organizations	MUP	A	A	

TABLE 2.04.D-1: LAND USE REGULATIONS – WEST SHORE MIXED-USE SUBDISTRICTS				
<i>Use</i>	<i>Tahoma Village Center</i>	<i>Homewood Village Center</i>	<i>Sunnyside Village Center</i>	<i>Add'l Regs</i>
Regional Public Health and Safety Facilities			CUP	
Recreation				
Day Use Areas	A	A	A	
Recreation Center	MUP	MUP		
Participant Sports (Facilities)	MUP	A	MUP	
Group Facilities	MUP		MUP	
Beach Recreation		A	A	
Boat Launching Facilities		CUP	CUP	
Cross Country Skiing Courses		MUP	MUP	
Developed Campgrounds			A	
Marinas		A	A	
Outdoor Recreation Concessions	MUP	A	A	
Recreational Vehicle Park			CUP	
Riding and Hiking Trails		MUP	MUP	
Rural Sports			CUP	
Skiing Facilities		CUP		
Snowmobile Courses		CUP		
Visitor Information Center	MUP	MUP	MUP	
Resource Management				
Reforestation	A	A	A	
Sanitation Salvage Cut	A	A	A	
Thinning	A	A	A	
Timber Stand Improvement	A	A	A	
Tree Farms	A	A	A	
Early Successional State Vegetation Management	A	A	A	
Nonstructural Fish Habitat Management	A	A	A	
Nonstructural Wildlife Habitat Management	A	A	A	
Structural Fish Habitat Management	A	A	A	
Structural Wildlife Habitat Management	A	A	A	
Fire Detection and Suppression	A	A	A	

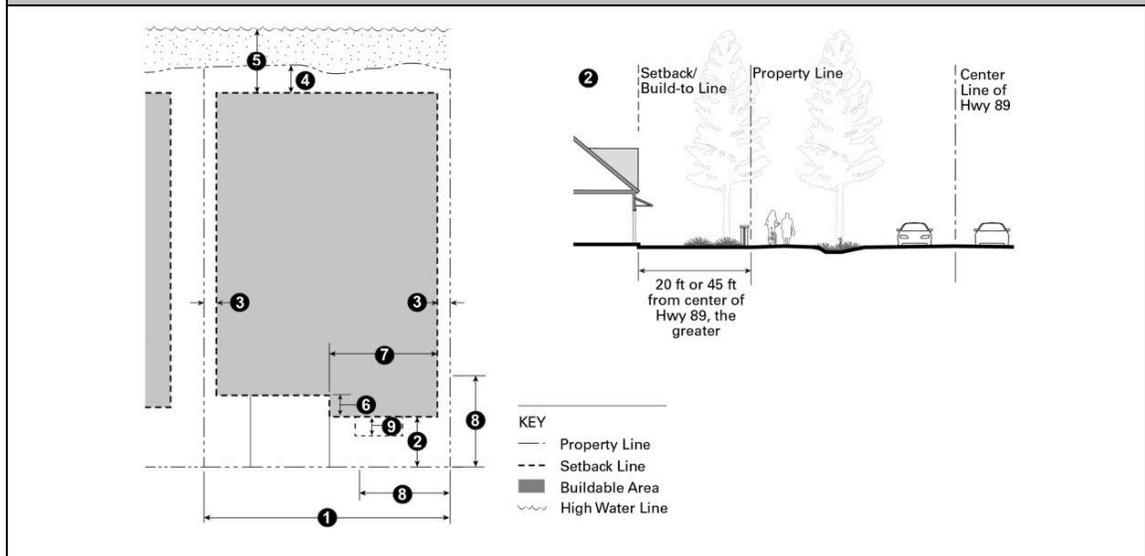
TABLE 2.04.D-1: LAND USE REGULATIONS – WEST SHORE MIXED-USE SUBDISTRICTS				
<i>Use</i>	<i>Tahoma Village Center</i>	<i>Homewood Village Center</i>	<i>Sunnyside Village Center</i>	<i>Add'l Regs</i>
Fuels Treatment (/Management)	A	A	A	
Insect and Disease Suppression	A	A	A	
Sensitive Plant Management	A	A	A	
Uncommon Plant Community Management	A	A	A	
Erosion Control	A	A	A	
Runoff Control	A	A	A	
SEZ Restoration	A	A	A	
Reforestation	A	A	A	
Sanitation Salvage Cut	A	A	A	
Note: (1) Facilities which are not visually obtrusive may be eligible for an Administrative Approval per Placer County Code Section 17.56.060.F.				

4. **Development Standards.** Tables 2.04.D-2, 2.04.D-3, 2.04.D-4, and 2.04.D-5 prescribe the development standards for the West Shore Mixed-Use District sub-districts.

TABLE 2.04.D-2: DENSITY, BUILDING HEIGHT AND NOISE STANDARDS – WEST SHORE MIXED-USE SUBDISTRICTS			
<i>Subdistrict</i>	<i>Tahoma Village Center</i>	<i>Homewood Village Center</i>	<i>Sunnyside Village Center</i>
Maximum Density (Units/acre unless otherwise indicated)			
Residential			
<i>Single Family Dwelling (du/parcel)</i>	1	1	1
<i>Multiple Family Dwelling (units per acre)</i>	8	8	8
<i>Residential Care (people per acre)</i>	25		
<i>Employee Housing (units per acre)</i>	As per the limitations above	8	15, multiple family only
Tourist Accommodation			
<i>Bed and Breakfast Facilities (units per acre)</i>	10	10	10
<i>Hotel, Motel and Other Transient Dwelling Units with less than 10% of units with kitchens (units per acre)</i>	20	20	20

TABLE 2.04.D-2: DENSITY, BUILDING HEIGHT AND NOISE STANDARDS – WEST SHORE MIXED-USE SUBDISTRICTS			
<i>Subdistrict</i>	<i>Tahoma Village Center</i>	<i>Homewood Village Center</i>	<i>Sunnyside Village Center</i>
<i>Hotel, Motel and Other Transient Dwelling Units with 10% or more units with kitchens (units per acre)</i>	15	15	15
<i>Timeshare (units per acre)</i>	As set forth above	As set forth above	As set forth above
Recreation			
<i>Developed Campgrounds (sites per acre)</i>			8
<i>Recreation Vehicle Parks (sites per acre)</i>			10
Building Height	TRPA Code of Ordinances Chapter 37		
Maximum Community Noise Equivalent Level (CNEL)	55	60	60

TABLE 2.04.D-3: BUILDING PLACEMENT STANDARDS AND GUIDELINES – WEST SHORE MIXED-USE SUBDISTRICTS

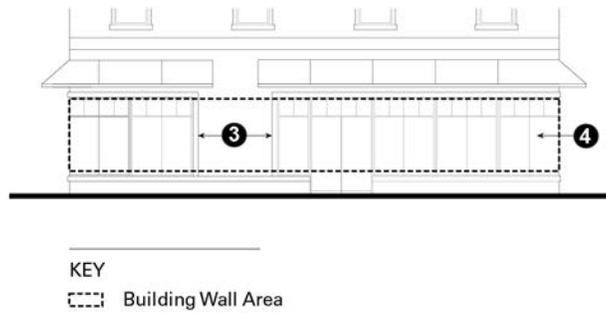


Subdistrict	Tahoma Village Center	Homewood Village Center	Sunnyside Village Center	#
Minimum Setbacks (measured from property line unless otherwise noted)				
Street Frontage	20 ft from property line or 45 ft from the centerline of abutting a traveled way, whichever is greater. An additional setback may be required to allow existing or planned bicycle or pedestrian improvements per the Lake Tahoe Region Bike and Pedestrian Plan. (a)			2
Side	Total of 15 ft, 5 ft minimum on each side			3
Rear	10 ft			4
Lake Tahoe	Per TRPA Code of Ordinances			5
Attached Garage (measured from primary façade)	2 ft			6
Minimum Building Frontage at the Street Frontage Setback Line (% of linear street frontage)	40%, buildings shall be constructed at the required setback for 40 percent of linear street frontage. (c)			7
Corner Build Area	30 ft (b)			8
Maximum Projection into Front Setback	Awnings and overhangs to provide a covered walkway, public plaza, or outdoor eating area may project up to 50% of the required setback, but not into any public right-of-way.			9

- a. Street Frontage Improvements. New development, including substantial alterations of existing properties, shall provide street frontage improvements in accordance with the following or an improved area wide improvement plan:

- i. **Property Edge.** Street-facing property boundaries or the property edges abutting public trails or roads shall be clearly marked by a change in material (permeable hardscape or landscaping versus asphalt along vehicle travel lanes), change in grade or mounding between six and 18 inches in height, fences or walls less than three feet in height, or stones or posts located at a minimum two feet on center.
 - ii. **Building Frontage.** The area between any bicycle / pedestrian improvements or paths and the building frontage shall be improved with pedestrian connections, outdoor dining / seating areas (subject to Placer County Code, Section 17.56.160, Outdoor Retail Sales), or landscaping.
 - iii. **Fences and Walls.** Fences along street-facing property edges should be wood or stone with articulation or surface features of a minimum six-inch depth at a minimum of every 10 feet.
 - iv. **Street Trees.** If located in sidewalk tree wells, trees shall be planted at a minimum 20 feet on center along the Highway 89 street frontage. Otherwise, street trees shall be planted at least 40 or 50 feet on center depending on the species selected.
 - v. **Bicycle and Pedestrian Improvements.** Bicycle or pedestrian improvements pursuant to the Lake Tahoe Region Bike and Pedestrian Plan and any existing pedestrian pathways or bikeways shall be continued from adjacent lots.
 - vi. **Access.** Driveways and pedestrian pathway entrances should be framed on either side by landscaped areas of minimum six-foot length by four-foot depth.
- b. **Corner Build Area.** Where feasible and compatible with environmental constraints, buildings with nonresidential uses on the ground floor should be located in accordance with the required setbacks within 30 feet of any street corner. Public plazas may be at the street corner provided buildings are built to the edge of the public plaza.
- c. **Build-to Line for Nonresidential Uses.** Buildings with nonresidential uses on the ground floor shall be constructed at the required setback for the identified percent of linear street frontage. This requirement may be modified or waived with project approval upon finding that:
- i. Entry courtyards, plazas, entries, or outdoor eating and display areas are located between the build-to line and building, provided that the buildings are built to the edge of the courtyard, plaza, or dining area;
 - ii. The building incorporates an alternative entrance design that creates a welcoming entry feature facing the street; or
 - iii. The building placement is necessary to allow significant views of the lake from scenic highway corridors and public recreation areas.

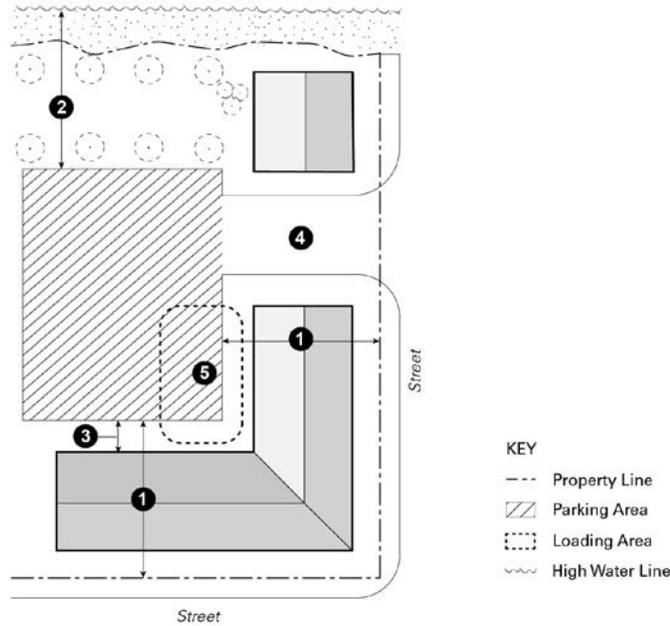
TABLE 2.04.D-4: BUILDING FORM GUIDELINES – WEST SHORE MIXED-USE SUBDISTRICTS



<i>Subdistrict</i>	<i>Tahoma Village Center</i>	<i>Homewood Village Center</i>	<i>Sunnyside Village Center</i>	<i>#</i>
Maximum Length of Blank Wall	No wall may run in a continuous horizontal plane for more than 40 feet without windows, doors, or architectural details of minimum six inch recess or projection			3
Required Transparency (% of building wall area)	40% (d)			4

- d. Building Transparency; Required Openings for Retail and Service Uses. Exterior walls facing and within 40 feet of a front or street side property line should include windows, doors, or other openings for at least 40 percent of the building wall area located between 2.5 and seven feet above ground level. Openings fulfilling this requirement shall have transparent glazing and provide views into work areas, display areas, sales areas, lobbies, or similar active spaces, or into window displays that are at least three feet deep.

TABLE 2.04.D-5: PARKING AND ACCESS STANDARDS – WEST SHORE MIXED-USE SUBDISTRICTS



<i>Subdistrict</i>	<i>Tahoma Village Center</i>	<i>Homewood Village Center</i>	<i>Sunnyside Village Center</i>	<i>#</i>
Minimum Setback From Edge of Traveled Way	20 ft (e)			①
Minimum Setback from Lake Tahoe (measured from mean high water line)	40 ft or per TRPA Code of Ordinances, whichever is greater			②
Setback from Buildings	5 ft walkway and/or landscaping			③
Access Location	Side street or rear wherever possible			④
Curb Cuts	Minimized and in areas least likely to impede pedestrian circulation			
Loading/Service Areas/Boat Storage or Parking Areas	Side or rear of lot is preferred; Loading and service areas should be screened from public ROW			⑤

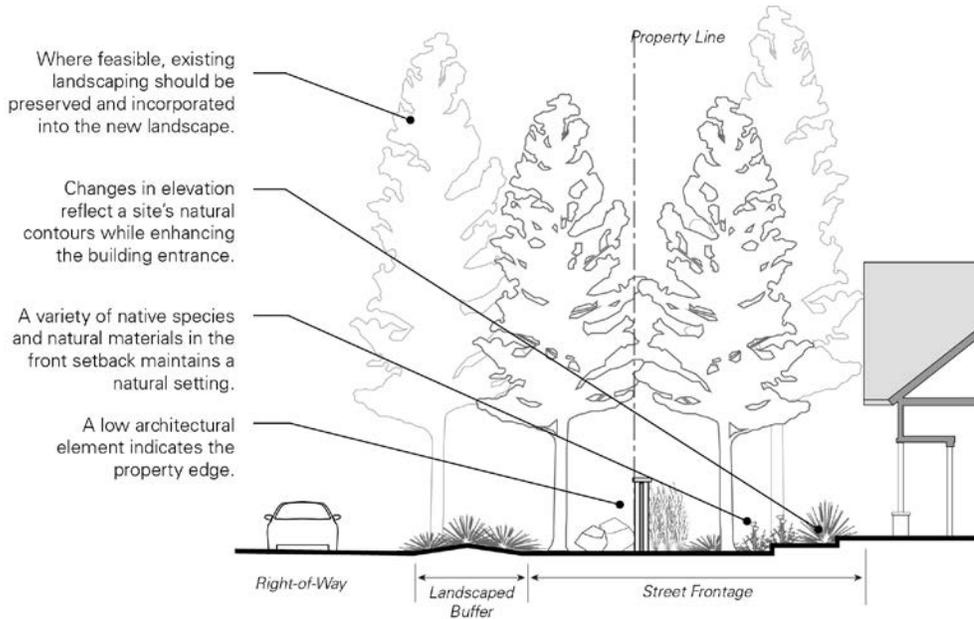
- e. Limitations on Location of Parking. Buildings should be placed as close to the street as possible, with parking behind a building, or on the interior side or rear of the site. Above ground surface parking may be located within 20 feet of a street facing property line with project approval when the County makes the following findings:
- i. Buildings are built close to the public sidewalk to the maximum extent feasible;
 - ii. The parking area is screened along the public right-of-way with a wall, hedge, trellis, and/or landscaping; and

- iii. The site is small and constrained such parking located more than 20 feet from the street frontage is not feasible; and
- iv. County Public Works determines traffic impacts from vehicle queuing and backing into the right-of-way are mitigated.
- f. Building Orientation.
 - i. Buildings shall be oriented to face public streets.
- g. Building Entrances.
 - i. Primary building entrances should be located on a public street.
 - ii. Building entrances should be covered and highlighted from the building mass with a roofed projection that has a minimum depth of three feet and a minimum area of 10 square feet.
- h. Exterior Building Materials and Colors.
 - i. A unified palette of non-reflective, natural materials such as stone and wood shall be used on all sides of buildings.
 - ii. Natural colors of a mountain setting shall be used to help delineate windows and other architectural features to increase architectural interest.
- i. Building Details. Buildings shall provide adequate architectural articulation and detail to avoid a bulky and “box-like” appearance and designs shall consider the effects of snow and ice on building access.
 - i. Building façades shall include building projections or recesses, doorway and window details, shutters, awnings, window boxes, natural stone or wood materials, and other details that provide architectural articulation and design interest.
 - ii. Clip-gambrel roofs, shed roofs, upper-floor balconies, covered walkways, and other architectural elements should be used, as appropriate, to terminate rooflines and accentuate setbacks between stories.
 - iii. All applied surface ornamentation or decorative detailing shall be consistent with the architectural style of the building.
 - iv. Buildings shall include a complementary level of design detail on all façades.
 - v. Building designs shall account for the frequent presence of snow and ice consistent with Section 3.09.D, Design for Snow. Appropriate design strategies may include:
 - (1) Location of entrances under the gable ends of pitched roofs;
 - (2) Limiting the location of entrances, stairs, or walkways under the drip line of roof eaves;
 - (3) Covering of stairs and walkways;

- (4) Use of snow cleats on roofs to prevent rapid shedding of snow and ice;
 - (5) Limiting the extension of open or uncovered balconies into the roof area;
 - (6) Use of heating elements to reduce snow shedding off of roofs and
 - (7) Consideration of composition roofs over metal roofing materials.
- j. Pedestrian Connections. A minimum five-foot wide unobstructed pedestrian access should be provided from on-site vehicle and bicycle parking areas to the main entrance of buildings, to adjacent public amenities such as the beach, shoreline, or viewpoints, and to public trails or transit stops located along street frontage.

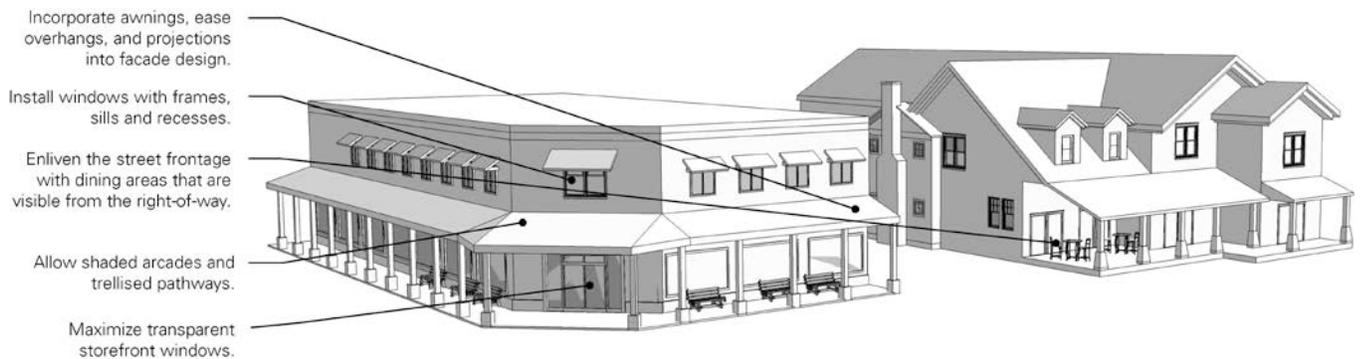
5. **Design Guidelines.**

- a. **Street Frontage Design.** Design front setbacks that maintain the mountain character of scenic Highway 89. Incorporate varied landscaping with a combination of trees, shrubs, and groundcover, as well as changes in elevation or landscaped edges. Avoid heavily manicured or uniform landscape palettes.



b. **Building Form and Design.**

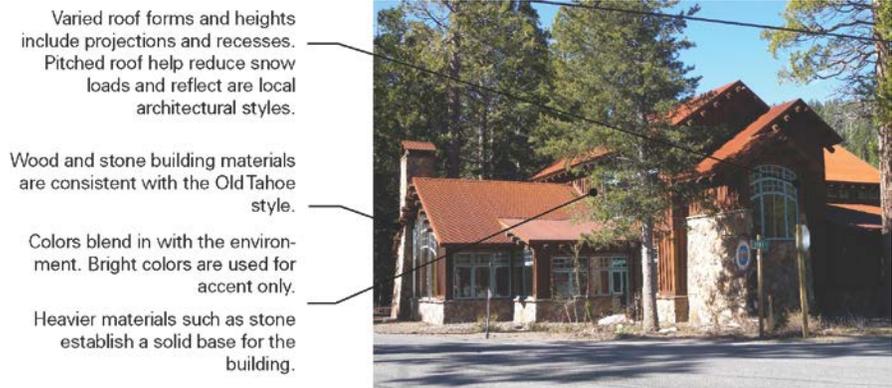
- i. **Building Articulation and Visual Interest at the Ground Level.** Vary building planes along the street frontage. Incorporate ground-level building details to create a pedestrian-oriented environment with a rural transitional character. Illustrations demonstrate preferred architectural detailing and articulation regardless of the scale of the building.



- ii. **Materials.** Employ a variety of building finish materials in the Old Tahoe or Historic Alpine style. Finishes should be wooden panels, masonry, logs, boards and batten, composite shingle

siding, shiplap siding, heavy v-joint siding, and metal or composite roofs.

- iii. **Colors.** Design buildings exteriors in the subdued colors of historic Old Tahoe or Historic Alpine style. These include earthy and natural colors that blend well with the alpine forest (reddish-brown, brown, tan, ochre, umber, sand, and dark green). Limit the use of bright-colored building materials and finishes, especially along scenic corridors.
- iv. **Roof Design.** Design sloped roofs with a minimum slope of 3:12. Roof forms may include gable, hip, and gambrel roofs, and lowered eave lines with dormer windows on upper levels are encouraged. Changes in roof heights are encouraged to prevent boxy buildings. Where flat roofs are used, provide architectural cornices to enhance the roofline. Authentic roof forms that cover the entire width and depth of buildings are preferred over superficial roof forms, such as mansards, that are affixed to the building.



c. Shorezone Design.

- i. **View Protection.** Orient pedestrian paths and vehicular circulation to maximize and protect shoreline views from public rights-of-way. Identify areas that best allow lake views and design buildings and landscaping to maximize visual access. Where buildings, structures, or parking or loading areas can be seen within a scenic corridor, minimize the impact with vegetation, landforms, or colors and materials that blend with the surroundings.

Buildings adjacent to pedestrian paths should not obstruct the lake view. Height, material, colors, and siting should protect and complement lake views.

The placement of open space adjacent to a pedestrian path opens up the view of the lake.

Smaller trees and shrubs should be located near the lake end of access paths to protect views.



- ii. **Access.** Provide clearly demarcated public access to the shorezone from public rights-of way. Incorporate landscaped edges, furniture, changes in elevation, and paving, while ensuring that all landscape design is sensitive to the natural habitat. When located adjacent to a parking area, design the access path to be visually distinct from the parking area.

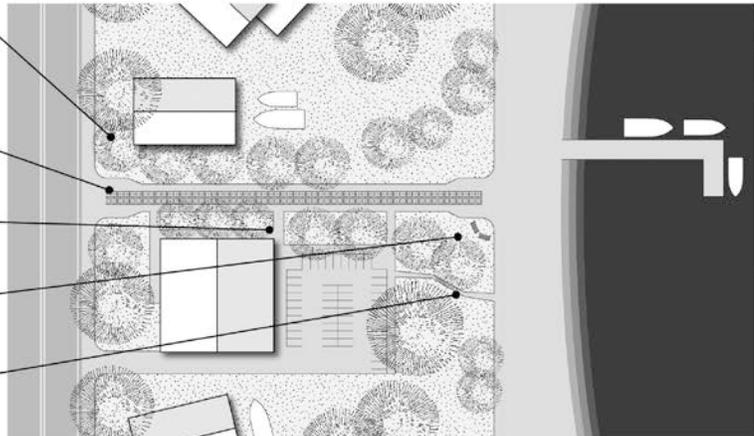
Design landscaping to preserve visibility of shoreline access. Locate smaller trees and shrubs near paths entrances and highlight paths with accent landscaping.

Enhance access paths with landscaped edges, paving, seating, and/or signage.

Maximize access by joining pedestrian connections with shoreline access paths.

Provide recreational facilities, dining or other amenities within the lake setback.

Provide informal paths where appropriate and ensure that they are sensitive to the natural shoreline habitat.



- 6. **Shorezone.** Within the specified shorezone tolerance district, the following primary uses may be permitted by TRPA in the backshore, nearshore, and foreshore. Accessory structures shall be regulated pursuant to the regulations applicable to the primary use upon which they are dependent in accordance with the TRPA Code of Ordinances. The following structures may be permitted by TRPA in the shorezone as an Allowed (A) or Special (S) use only if they are accessory to an existing, allowed use located on the same or adjoining littoral parcel.

TABLE 2.04.D-6: SHOREZONE – WEST SHORE MIXED-USE SUBDISTRICTS	
<i>Tolerance District</i>	7
Primary Uses	
Water Oriented Recreation Concessions	A
Beach Recreation	A
Water Borne Transit	A
Boat Launching Facilities	S
Tour Boat Operations	A
Safety and Navigation Devices	A
Marinas	S
Sea Plane Operations	S (only in Homewood Village Center)
Salvage Operations	S
Accessory Structures	
Buoys	A
Piers	A
Fences	S
Boat Ramps	A
Breakwaters or Jetties	S
Floating Docks and Platforms	A
Shoreline Protective Structures	S
Water Intake Lines	A

2.05 **Community Service Districts**

A. **Fairway Service Subdistrict.** The Fairway Service Subdistrict is located within the Greater Tahoe City Subarea. This area should continue to serve the recreation and public service needs of the northwest portion of the Tahoe Region and may also be appropriate for residential uses.

1. **Special Designations.** (See Section 3.14)
 - a. TDR Receiving Area for:
 - i. Existing development.
 - ii. Multi-residential units.
2. **Special Policies.** None.
3. **Permissible Uses.** The following primary uses may be permitted within all or a portion of the Subdistrict. The list indicates if the use is Allowed (A), subject to an Administrative Review Permit (C), or must be considered under the provisions for a Conditional Use Permit (CUP) or Minor Use Permit (MUP). Existing uses not listed shall be considered nonconforming uses within this Subdistrict. The establishment of new uses not listed shall be prohibited.

TABLE 2.05.A-1: LAND USE REGULATIONS – FAIRWAY SERVICE SUBDISTRICT		
Allowable Land Uses	Land Use Permit	Add'l Regs.
Residential		
Single Family Dwelling	A	
Multiple Family Dwelling	MUP	
Employee Housing	MUP	
Commercial		
Nursery	MUP	
Business Support Services	A	
Professional Offices	A	
Public Service		
Cultural Facilities	A	
Government Offices	MUP	
Local Public Health and Safety Facilities	A	
Public Utility Centers	A	
Regional Public Health and Safety Facilities	MUP	
Threshold-Related Facilities	MUP	
Pipelines and Power Transmission	MUP	
Transit Stations and Terminals	A	
Transportation Routes	A	

TABLE 2.05.A-1: LAND USE REGULATIONS – FAIRWAY SERVICE SUBDISTRICT		
Transmission and Receiving Facilities	MUP	Placer County Code Section 17.56.060F
Recreation		
Day Use Areas	A	
Cross County Skiing Courses	MUP	
Golf Courses	MUP	
Outdoor Recreation Concessions	MUP	
Riding and Hiking Trails	MUP	
Snowmobile Courses	A	
Visitor Information Centers	MUP	
Resource Management		
Reforestation	A	
Sanitation Salvage Cut	A	
Special Cut	A	
Thinning	A	
Tree Farms	A	
Early Successional Stage Vegetation Management	A	
Nonstructural Fish Habitat Management	A	
Nonstructural Wildlife Habitat Management	A	
Structural Fish Habitat Management	A	
Structural Wildlife Habitat Management	A	
Fire Detection and Suppression	A	
Fuels Treatment	A	
Insect and Disease Suppression	A	
Sensitive Plant Management	A	
Uncommon Plant Community Management	A	
Erosion Control	A	
SEZ Restoration	A	
Runoff Control	A	

4. **Development Standards.** Table 2.05.A-2 prescribes the development standards for the Fairway Industrial Subdistrict.

TABLE 2.05.A-2: DEVELOPMENT STANDARDS – FAIRWAY SERVICE SUBDISTRICT	
Maximum Density	
<i>Residential</i>	Single Family Dwelling: 1 du/parcel Multiple Family Dwelling: 15 units per acre Employee Housing: As per the limitations set forth in this table
<i>Commercial</i>	Corner Lots: 6,000 sq ft Interior Lots: 5,000 sq ft
Building Height	TRPA Code of Ordinances Chapter 37
Minimum Lot Size	10,000 sq ft
Minimum Lot Width	60 ft
Minimum Setbacks (measured from property line unless otherwise noted)	See also 17.54.130, 17.54.140, and 17.54.150
<i>Front</i>	10 ft
<i>Side</i>	5 ft
<i>Rear</i>	5 ft
Maximum Community Noise Equivalent Level	65 CNEL