

EXHIBIT "A-1"

Description of The Lands of Bryte Gardens

Parcel One

A portion of the Southwest Quarter of Section 12, Township 10 North, Range 5 East, M.D.M., County of Placer, State of California being more particularly described as follows:

BEGINNING at the southwest corner of said Section 12, marked by a two inch brass cap in well, thence from said POINT OF BEGINNING, North 00°49'04" West along the west line of said Section 12, a distance of 462.00 feet; thence leaving said west line of Section 12, North 89°10'56" East a distance of 429.00 feet; thence South 00°49'04" East a distance of 467.96 feet to a point on the south line of said Section 12; thence South 89°58'41" West along said south line of Section 12, a distance of 429.04 feet to the point of beginning.

Containing 4.58 acres, more or less.

Parcel Two

A portion of Section 12, Township 10 North, Range 5 East, M.D.M., County of Placer, State of California being more particularly described as follows:

Commencing at the southwest corner of said Section 12, marked by a two inch brass cap in well, thence North 89°56'41" East along the south line of said Section 12, a distance of 1718.04 feet to the Point of Beginning; thence from said POINT OF BEGINNING, leaving said south line of Section 12, North 00°49'04" West a distance of 506.91 feet; thence South 89°58'41" West a distance of 1289.00 feet; thence North 00°49'04" West a distance of 168.05 feet; thence South 87°58'49" West a distance of 429.09 feet to a point on the west line of said Section 12; thence North 00°49'04" West along said west line of Section 12, a distance of 223.00 feet; thence leaving said west line of Section 12, North 68°05'32" East a distance of 1230.06 feet; thence North 00°49'04" West a distance of 1202.71 feet; thence North 58°03'56" East a distance of 308.26 feet; thence North 78°04'56" East a distance of 279.70 feet; thence South 89°40'04" East a distance of 210.70 feet; thence North 81°29'56" East a distance of 117.90 feet; thence South 73°06'04" East a distance of 261.20 feet; thence North 82°49'56" East a distance of 396.39 feet to a point on the north-south center section line of said Section 12; thence South 00°56'48" East along said north-south section line, a distance of 111.14 feet to the Center Quarter corner of said Section 12 marked by a 5/8 inch rebar and cap stamped LS 4533; thence North 89°53'34" East along the north line of the southeast quarter of said Section 12, a distance of 1311.77 feet; thence leaving said north line of the southeast quarter, North 00°01'06" West a distance of 153.07 feet; thence South 73°58'24" West a distance of 30.00 feet; thence North 03°51'24" East a distance of 299.75 feet; thence North 75°13'24" East a distance of 320.00 feet; thence North 53°50'54" East a distance of 528.51 feet; thence North 53°51'54" East a distance of 267.00 feet; thence North 79°10'54" East a distance of 171.71 feet; thence North 84°38'19" East a distance of 218.96 feet to a point on the east line of the northeast

EXHIBIT "A-1"

Description of The Lands of Bryte Gardens

quarter of said Section 12; thence South 01°00'09" East along said east line of the northeast quarter, a distance of 1045.03 feet to the East 1/4 Corner of said Section 12, marked by a two inch iron pipe with brass cap stamped with RCE number 21478; thence South 01°00'07" East along the east line of the southwest quarter of said Section 12, a distance of 2647.38 feet to the southeast corner of said Section 12, marked by a 2 inch brass disk in well; thence South 89°58'54" West along the south line of the southeast quarter of said Section 12, a distance of 2662.42 feet to the South 1/4 Corner of said Section 12 marked by a 1/2 inch iron pin in the pavement; thence South 89°58'41" West along the south line of the southwest quarter of said Section 12, a distance of 944.73 feet to the POINT OF BEGINNING.

Containing 287.79 acres, more or less.

Parcel Three

A portion of the Southwest Quarter of Section 7, Township 10 North, Range 6 East, M.D.M., County of Placer, State of California being more particularly described as follows:

Parcel 2 as shown on that certain Parcel Map recorded in Book 29 of Parcel Maps at Page 75, Official Records Placer County.

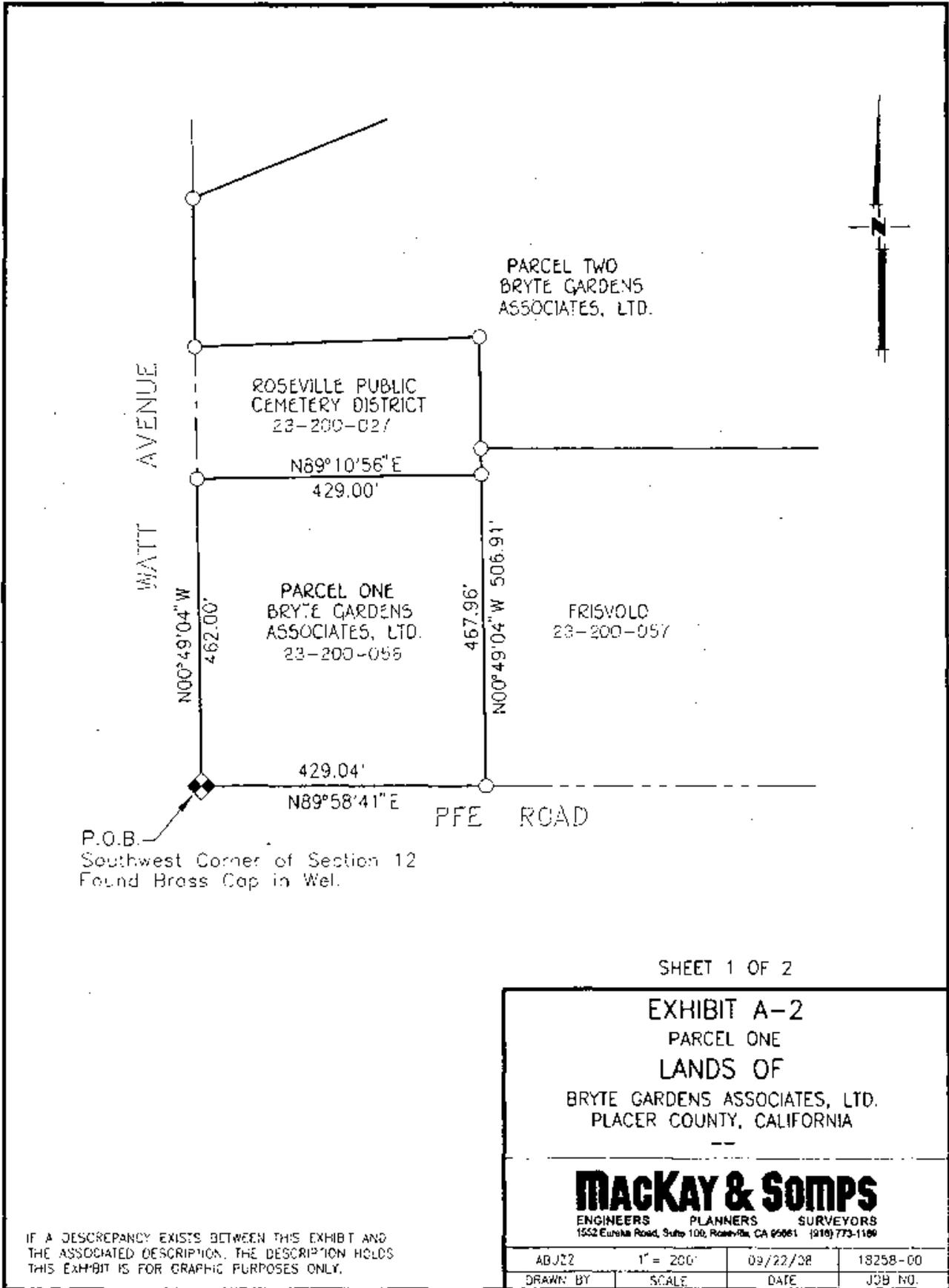
Containing 30.36 acres, more or less.

END OF DESCRIPTION

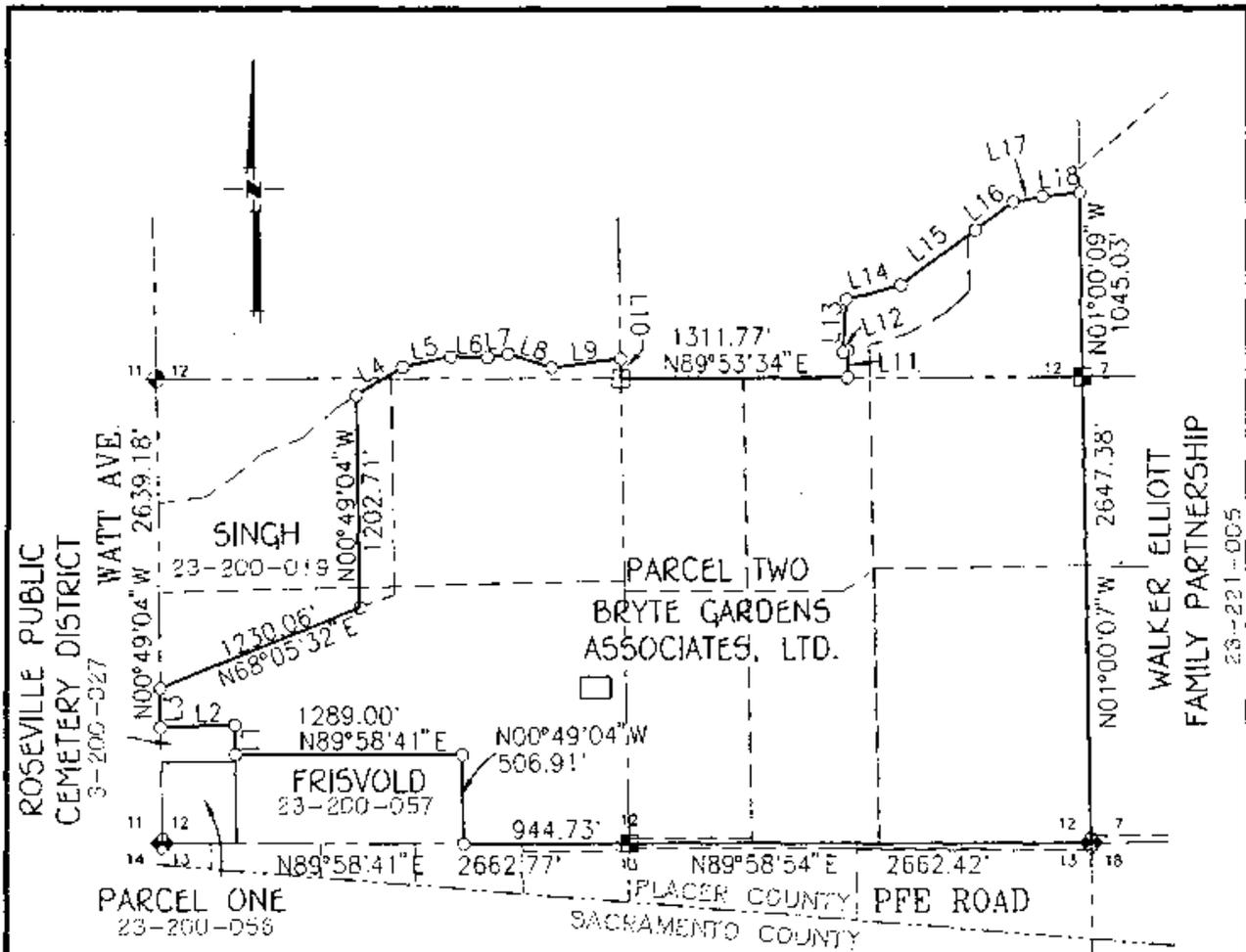
Description prepared by:

MACKAY & SOMPS CIVIL ENGINEERS, INC.

1552 Eureka Road, Suite 100, Roseville, CA 95661



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LINE TABLE

No.	BEARING	LENGTH
L1	N00°49'04"W	168.05'
L2	N87°58'49"E	429.09'
L3	N00°49'04"W	223.00'
L4	N58°03'56"E	308.26'
L5	N78°04'56"E	279.70'
L6	N89°40'04"W	210.70'
L7	N81°29'56"E	117.90'
L8	N73°06'04"W	261.20'
L9	N82°49'56"E	396.39'
L10	N00°56'48"W	111.14'
L11	N00°01'06"W	153.07'
L12	N73°58'24"E	30.00'
L13	N03°51'24"E	299.75'
L14	N75°13'24"E	320.00'
L15	N53°50'54"E	528.51'
L16	N53°51'54"E	267.00'
L17	N79°10'54"E	171.71'
L18	N84°38'19"E	218.96'

SHEET 2 OF 2

EXHIBIT A-2
PARCEL TWO
LANDS OF
BRYTE GARDENS ASSOCIATES, LTD.
PLACER COUNTY, CALIFORNIA

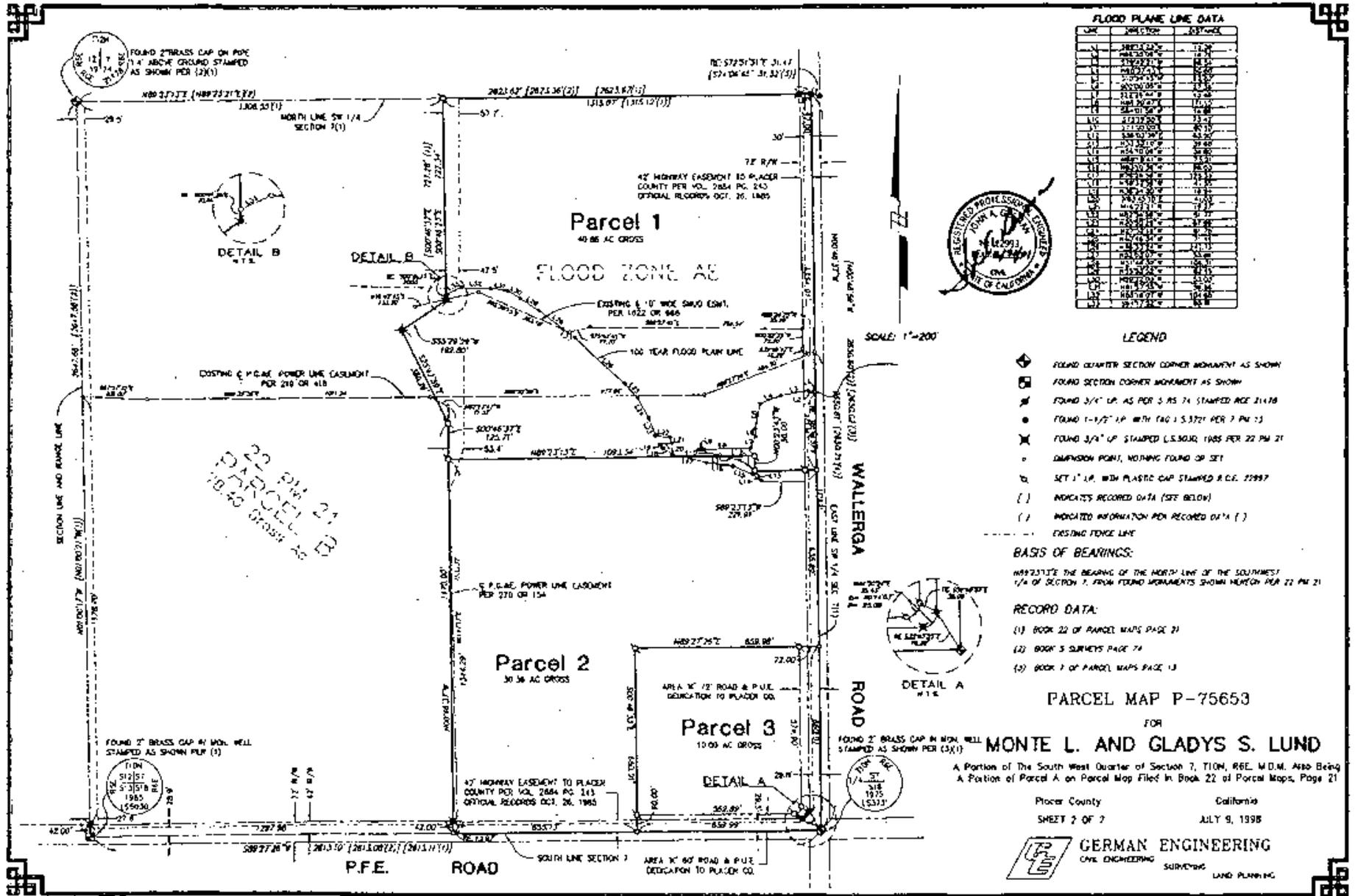
MACKAY & SOMPS

ENGINEERS PLANNERS SURVEYORS
1552 Eureka Road, Suite 100, Roseville, CA 95661 (916) 773-1100

ABUZZ	1" = 1000'	09/22/08	18258-00
DRAWN BY	SCALE	DATE	JOB NO.

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(1) P:\18258\survey\M5\stake\lupp-8d\1027\07\lupp-walker-sites.dwg (2) L:\18258\mapping\M5_w35492.dwg (3) P:\10250\1000\civ-33492.dwg

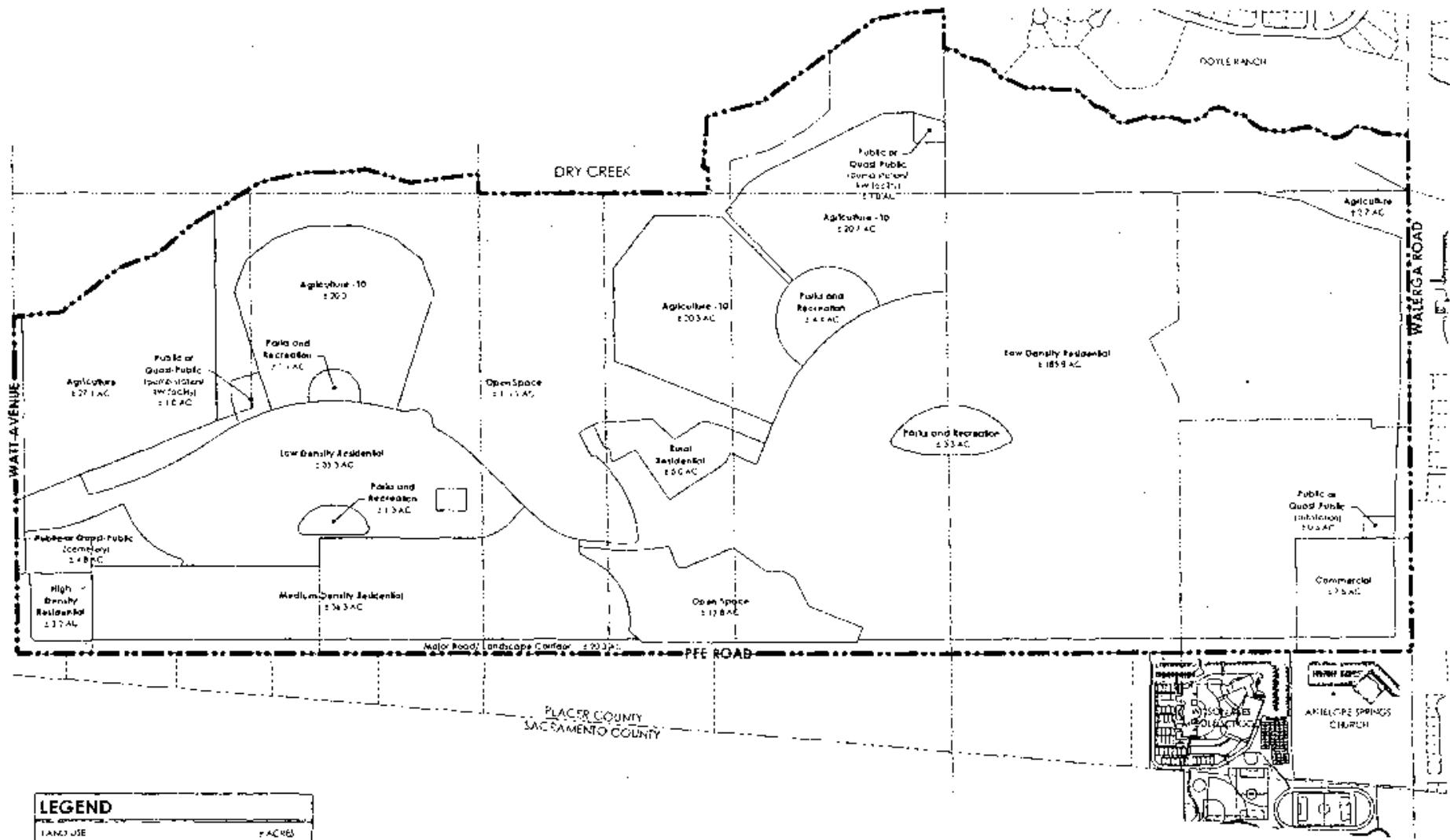
289



FLOOD PLANE LINE DATA

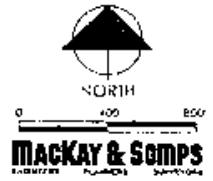
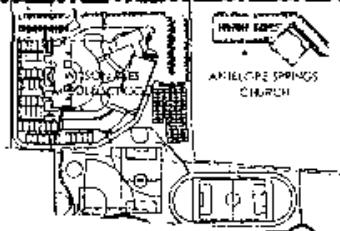
LINE	DATE/NO.	DATE/NO.
AREA 1	11-20-97	11-20-97
AREA 2	11-20-97	11-20-97
AREA 3	11-20-97	11-20-97
AREA 4	11-20-97	11-20-97
AREA 5	11-20-97	11-20-97
AREA 6	11-20-97	11-20-97
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AREA 14	11-20-97	11-20-97
AREA 15	11-20-97	11-20-97
AREA 16	11-20-97	11-20-97
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AREA 18	11-20-97	11-20-97
AREA 19	11-20-97	11-20-97
AREA 20	11-20-97	11-20-97
AREA 21	11-20-97	11-20-97
AREA 22	11-20-97	11-20-97
AREA 23	11-20-97	11-20-97
AREA 24	11-20-97	11-20-97
AREA 25	11-20-97	11-20-97
AREA 26	11-20-97	11-20-97
AREA 27	11-20-97	11-20-97
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AREA 43	11-20-97	11-20-97
AREA 44	11-20-97	11-20-97
AREA 45	11-20-97	11-20-97
AREA 46	11-20-97	11-20-97
AREA 47	11-20-97	11-20-97
AREA 48	11-20-97	11-20-97
AREA 49	11-20-97	11-20-97
AREA 50	11-20-97	11-20-97

EXHIBIT 2.2 RIOLO VINEYARD SPECIFIC PLAN LAND USES



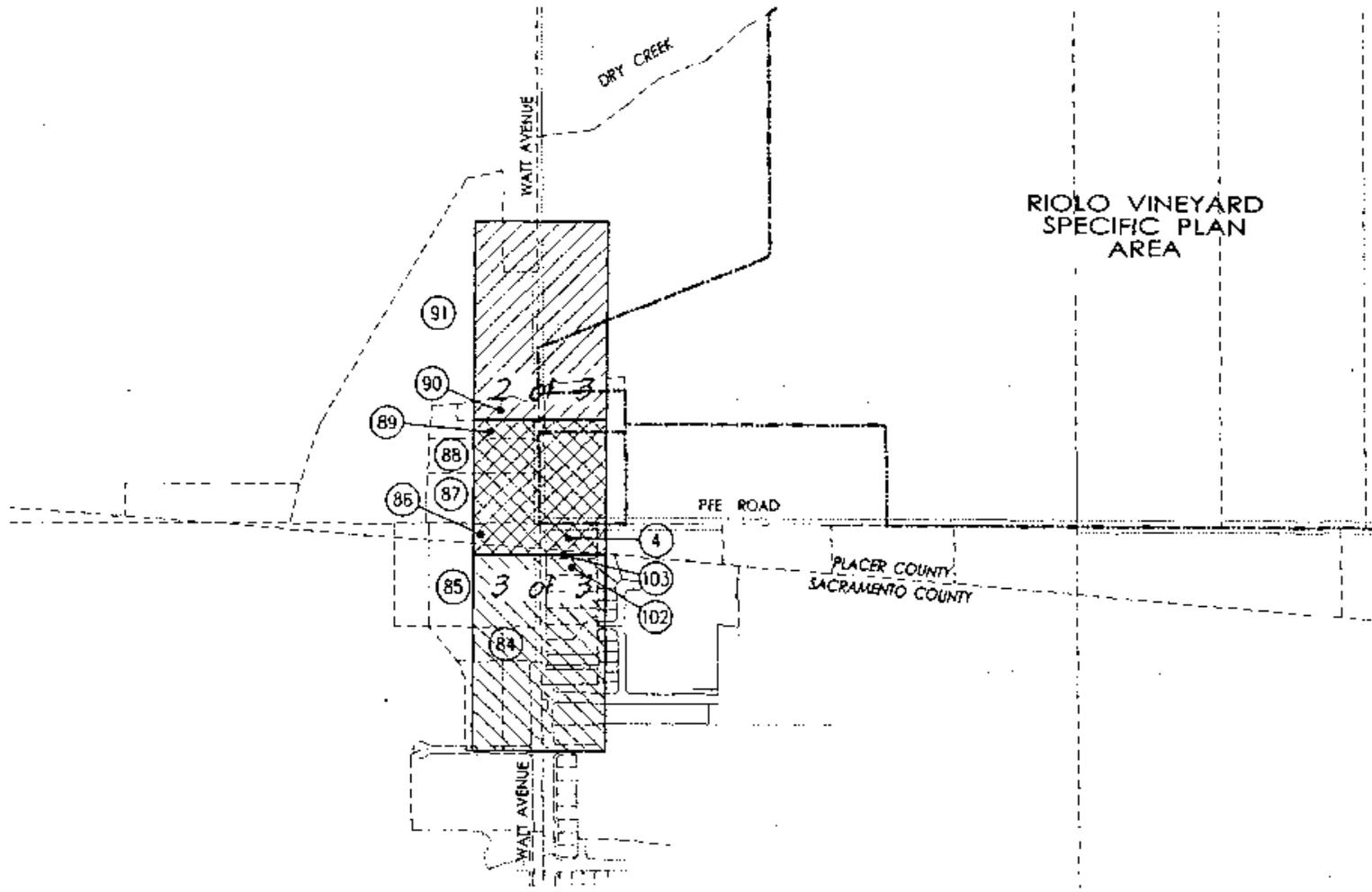
LEGEND

LAND USE	SQ. FEET	ACRES
High Density Residential (10-20 du/acre)	312	7.2
Medium Density Residential (5-10 du/acre)	363	8.3
Low Density Residential (1-3 du/acre)	2211	50.9
Equal Residential (2-50 min)	453	10.4
Agriculture	218	5.0
Open Space	1217	28.0
Parks and Recreation	01	0.0
Commercial	75	1.7
Public or Quasi-Public		
Cemetery	48	1.1
Substation	05	0.1
Utility Station/PA Facility	20	0.5
Major Road/Landscape Corridor	203	4.7
TOTAL		525.8



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EXHIBIT 3.2.1 INTERSECTION IMPROVEMENTS - INDEX



PROPERTY #	PROPERTY OWNER	APN #
4	PFE FUND LP	023-210-101
84	CENTER UNIFIED SCHOOL DISTRICT	203-020-010
85	CENTER UNIFIED SCHOOL DISTRICT	203-020-003
86	CENTER UNIFIED SCHOOL DISTRICT	023-210-095
87	MIKHAYLISHIN	023-200-040
88	GUILLEN	023-200-050
89	SIRE	023-200-348
90	FITZGERALD	023-200-335
91	NASSARI	023-200-042
102	QUINONEZ	203-030-302
103	PFE FUND LP	203-030-021



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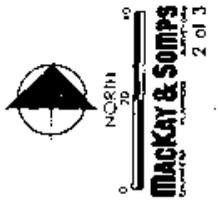


EXHIBIT 3.2.1 INTERSECTION IMPROVEMENTS

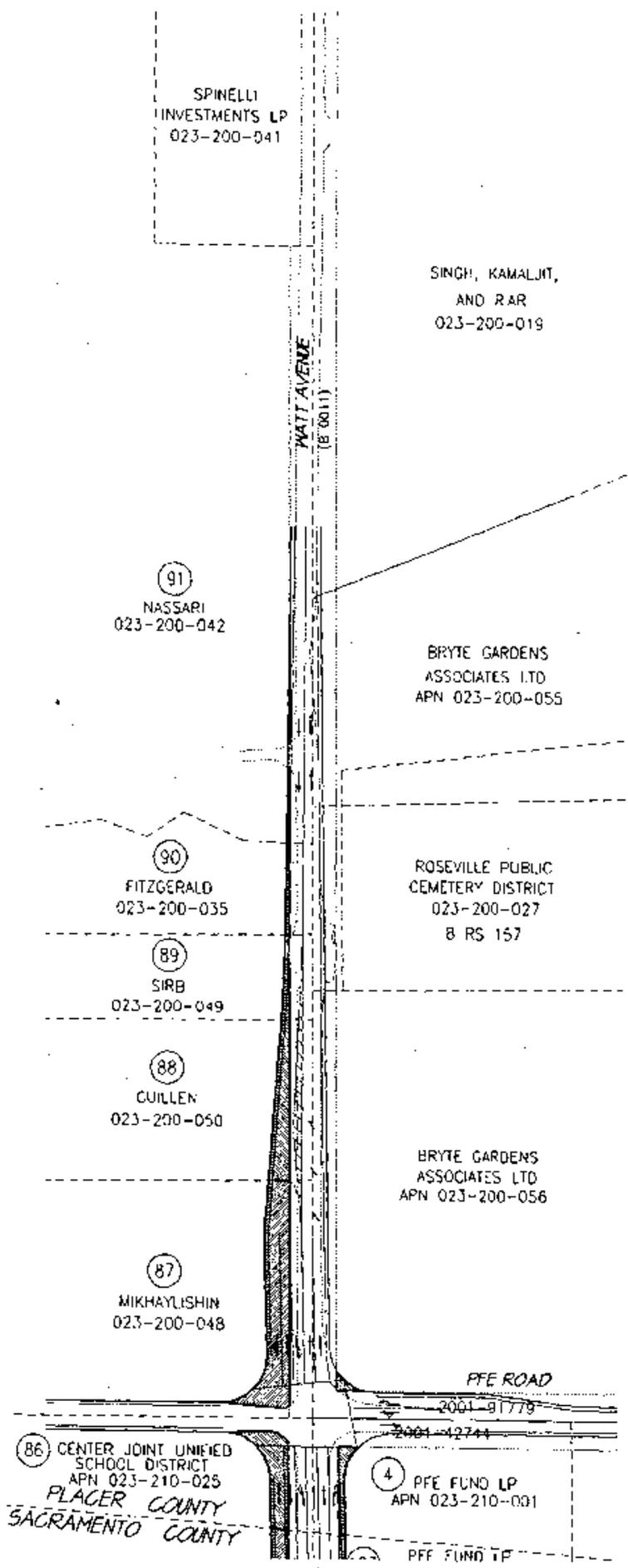


EXHIBIT 3.2.1 INTERSECTION IMPROVEMENTS

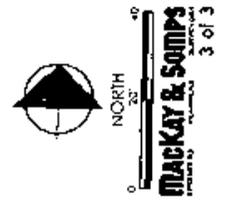
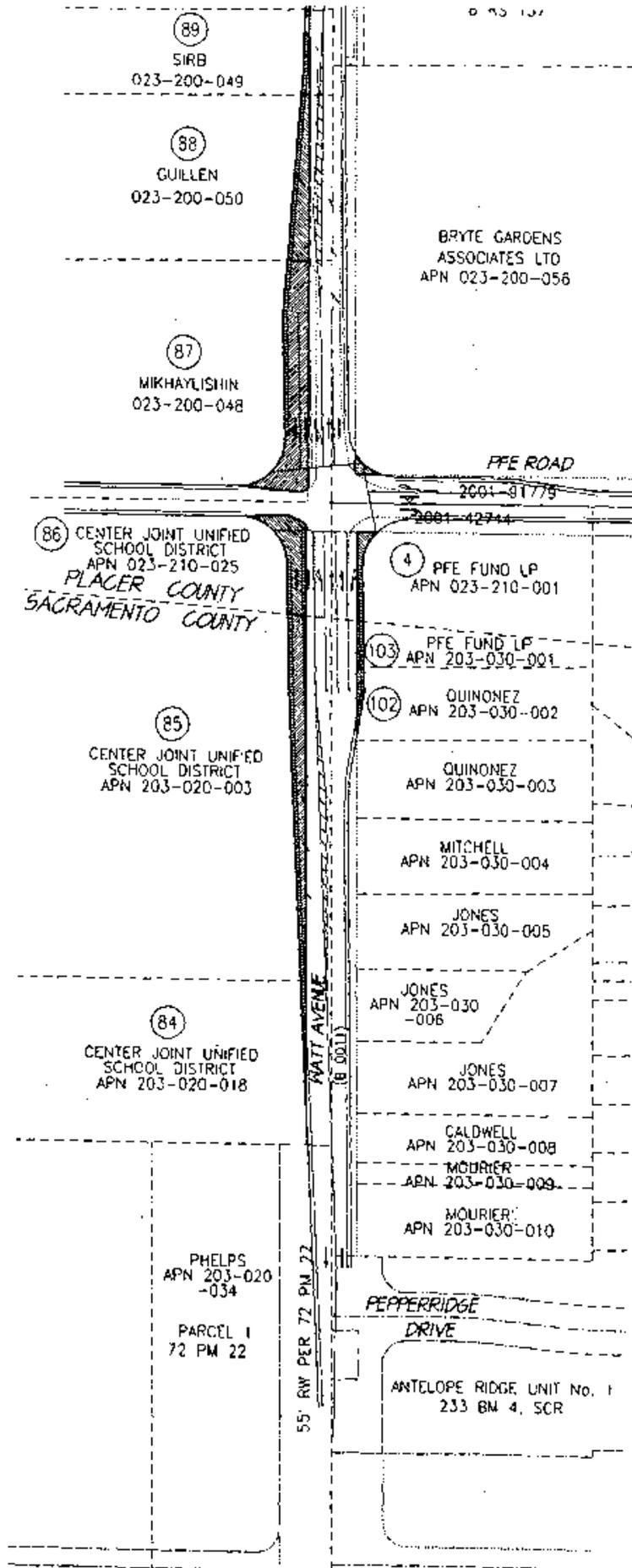
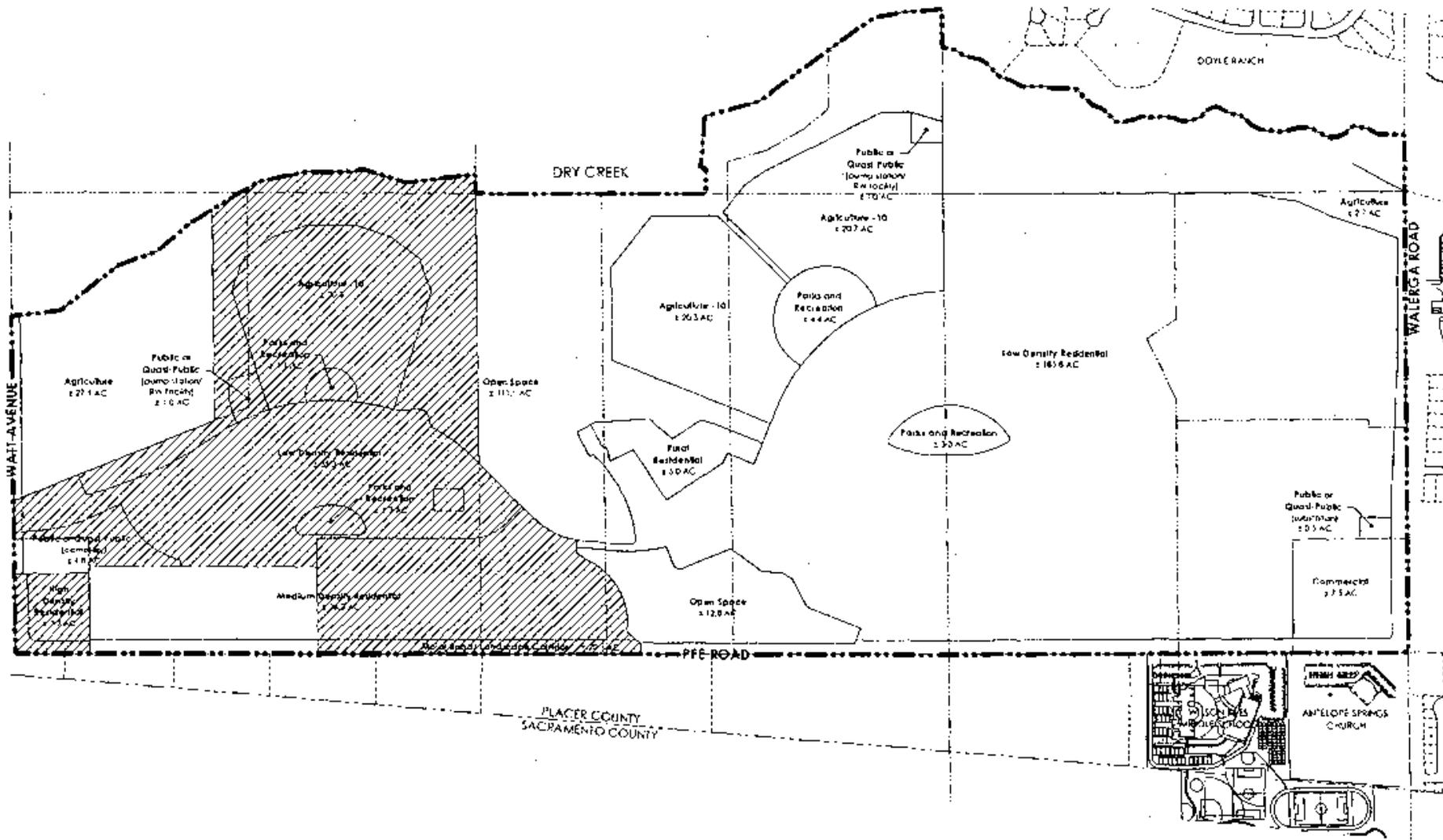
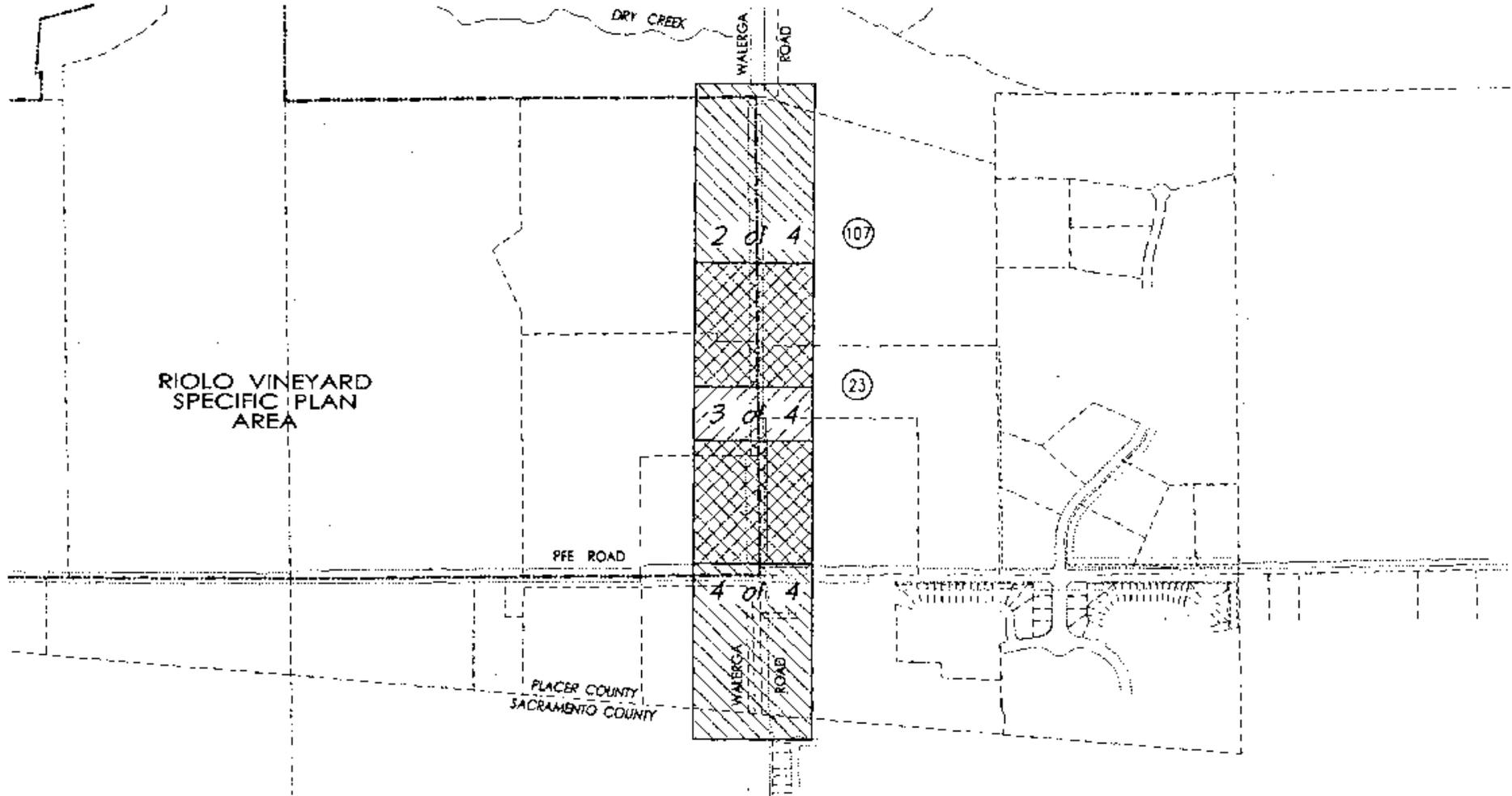


EXHIBIT 3.2.1.1 WESTERN PORTION



204

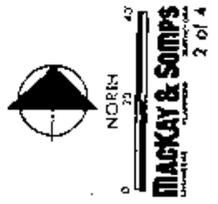
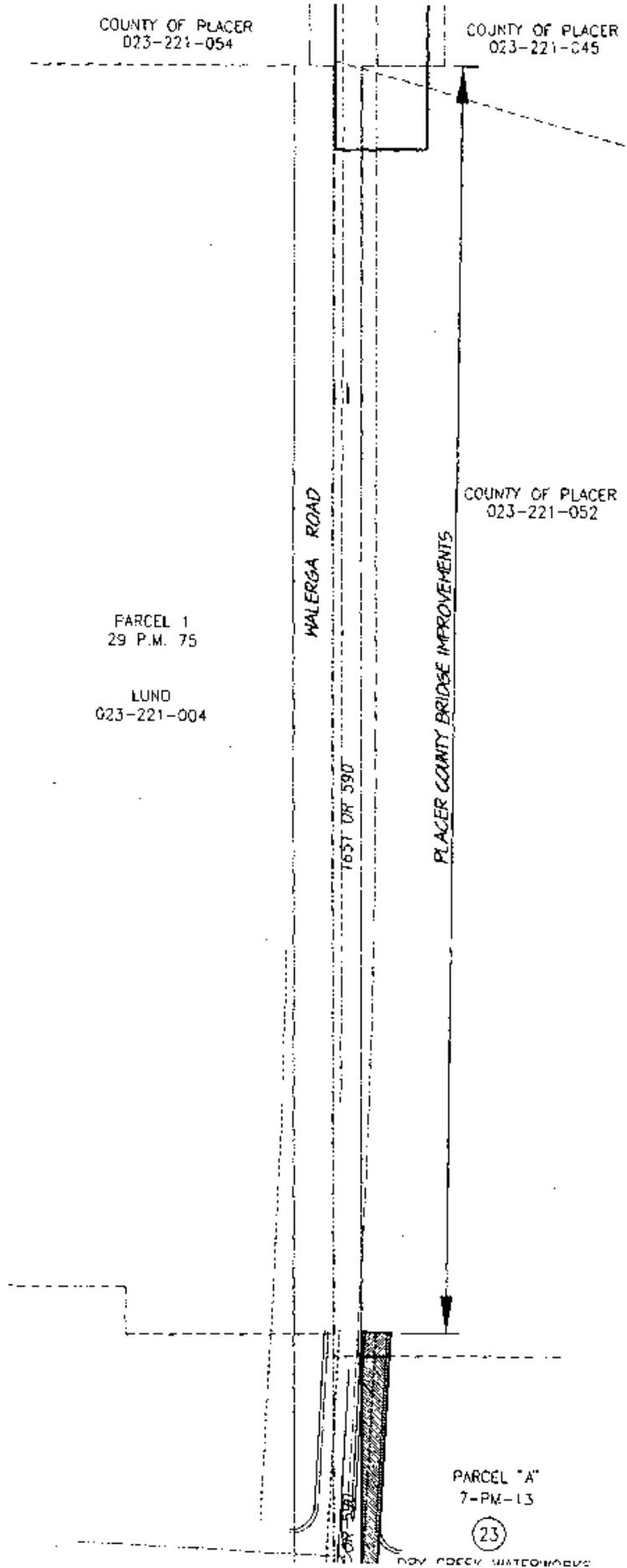
EXHIBIT 3.2.2 INTERSECTION IMPROVEMENTS - INDEX



PROPERTY #	PROPERTY OWNER	APH #
23	DRY CREEK WATERWORKS	023-221-016
107	COUNTY OF PLACER	023-221-052

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EXHIBIT 3.2.2 INTERSECTION IMPROVEMENTS



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EXHIBIT 3.2.2 INTERSECTION IMPROVEMENTS

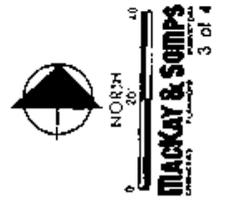
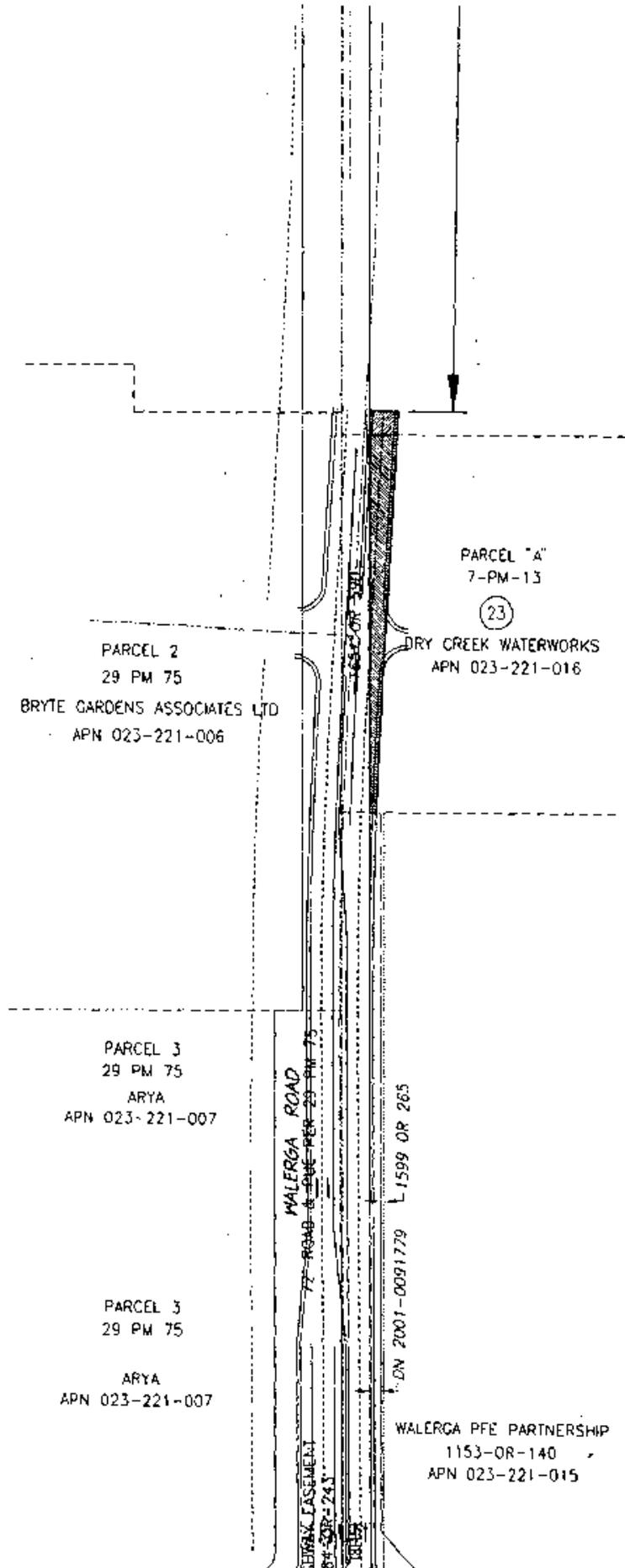


EXHIBIT 3.2.2 INTERSECTION IMPROVEMENTS

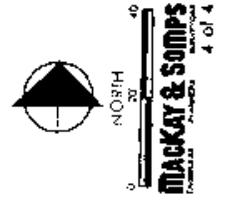
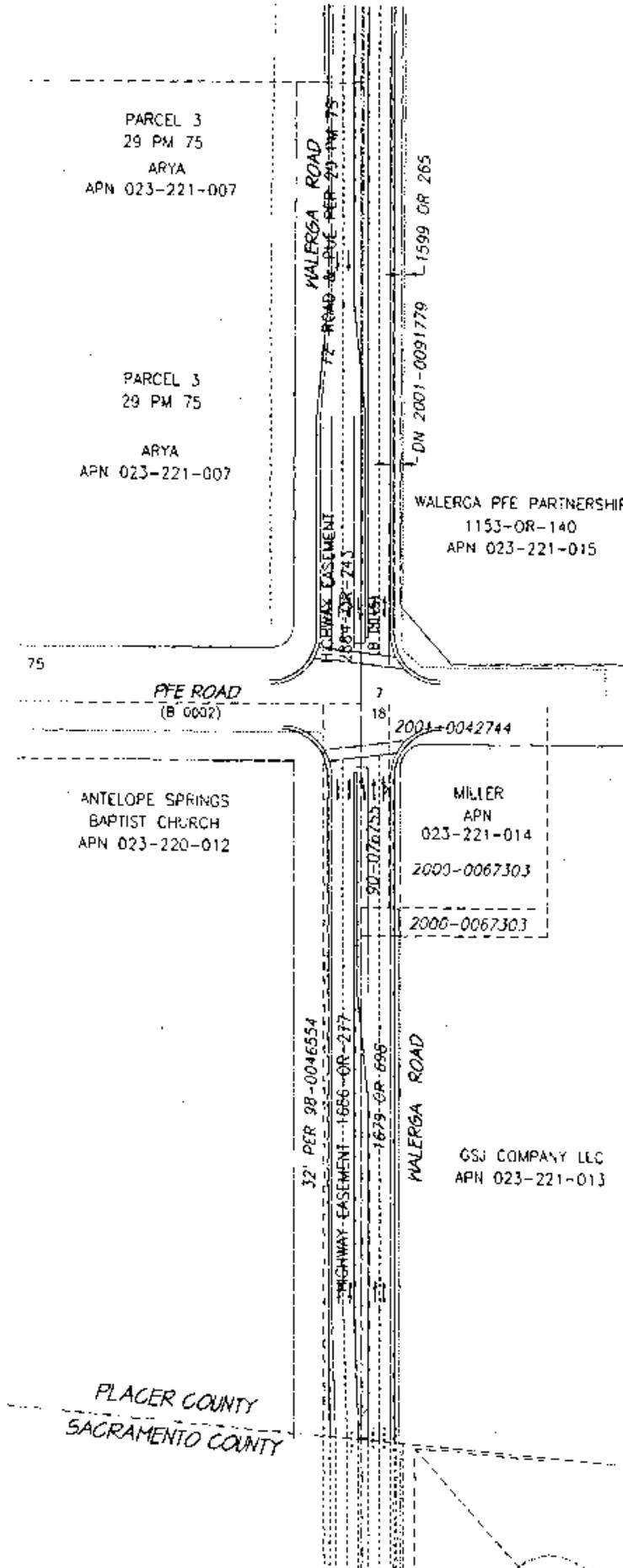
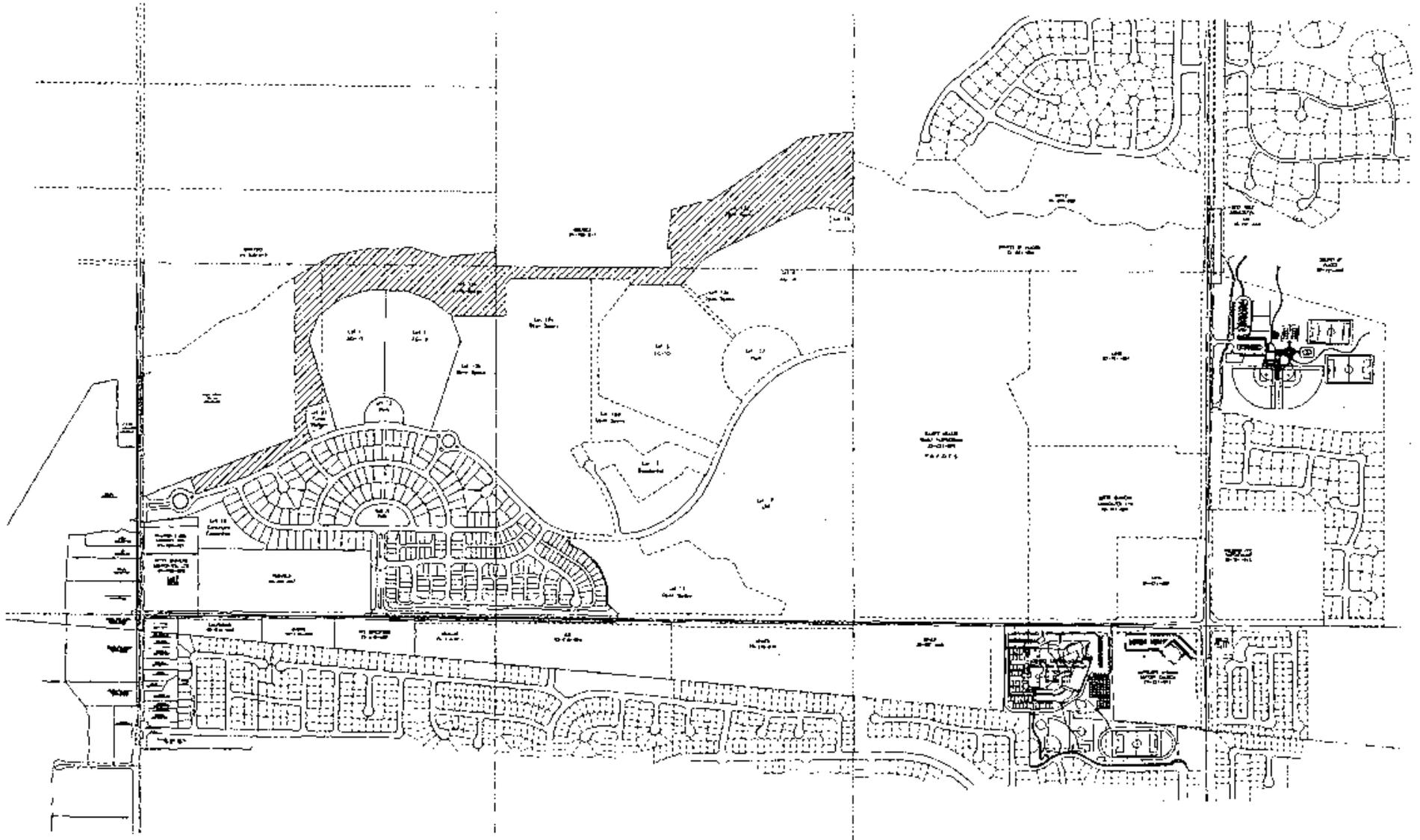


EXHIBIT 3.3.2 OPEN SPACE DEDICATION



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Exhibit 3.10.2—Park Facility Improvements

All Park Sites shall Comply with the Following:

- Developer shall provide complete Improvement Plans including details of the construction of the proposed recreational facilities for the review and approval of the County. All recreation facilities shall be designed to meet Americans with Disabilities Act (ADA) Federal Guidelines and, where appropriate, the Consumer Product Safety Commission Guidelines (COSC), and the requirements of the American Society for Testing and Materials (ASTM). Approval shall be evidenced by signature of a Parks Division representative on the Improvement Plans

Specific amenities to be included in individual park sites are as follows:

Park Site #1

- Complete water and irrigation system according to County standards
 - Tucor remote irrigation system or approved equal including the following components:
 - TWC-Flow Master Controller, Line Decoder, Sensor Decoder, Surge Protector
 - Tucor Control Cable
 - Tucor Flow Sensor
 - Tucor RFA-100F Radio Field Access Unit.
 - Provide for separate systems for both a primary recycled irrigation system and domestic system for potable use, primary backup, and irrigation areas in proximity to concentrated pedestrian traffic.
 - Pay all required hookup fees and facilitate any necessary agreements
- Turf areas shall be installed in the areas shown on the Specific Plan Figure 5.2
- One permanent "bear proof" type trash enclosure designed to hold 2-32 gallon trash bags
- Municipal quality drinking fountain.
- Minimum 6" thick concrete pathway throughout park as generally depicted in Specific Plan Figure 5.2
- Landscaping in general areas as depicted in Riolo Vineyards Specific Plan Figure 5.2. Plant and tree selection shall be specified in consultation with and approved by County Parks Division.
- Minimum of three municipal quality park benches located throughout park
 - Bench design shall be consistent with Riolo Vineyards Design Guidelines
 - Benches shall be installed on concrete pads contiguous to the path/trail system
 - Benches shall be chained to anchors placed in concrete pads
- Bollards, boulders and/or landscape configuration placed at maximum 5 foot clear space along street frontage to prevent unauthorized vehicle access
- Information kiosk according to County provided design standard.
- Park name sign as approved by the County DRC.

Park Site #2

- Complete water and irrigation system according to County standards
 - Tucor remote irrigation system or approved equal including the following components:
 - TWC-Flow Master Controller, Line Decoder, Sensor Decoder, Surge Protector
 - Tucor Control Cable
 - Tucor Flow Sensor
 - Tucor RFA-100F Radio Field Access Unit.
 - Provide for separate systems for both a primary recycled irrigation system and domestic system for potable use, primary backup, and irrigation areas in proximity to concentrated pedestrian traffic.
 - Pay all required hookup fees and facilitate any necessary agreements
- Turf areas shall be installed in the areas shown on the Specific Plan Figure 5.3
- One permanent "bear proof" type trash enclosure designed to hold 2-32 gallon trash bags
- Municipal quality drinking fountain.
- Minimum 6" thick concrete pathway and patio area throughout park as generally depicted in Specific Plan Figure 5.3
- Landscaping in general areas as depicted in Riolo Vineyards Specific Plan Figure 5.3. Plant and tree selection shall be specified in consultation with and approved by County Parks Division.
- Adventure Playground
 - Installed Miracle Model 718-S028 or approved alternate (age 5-12 appropriate)
 - Poured in place rubber fall zone matting
 - Concrete/masonry perimeter
- Minimum of three municipal quality park benches located throughout park
 - Bench design shall be consistent with Riolo Vineyards Design Guidelines
 - Benches shall be installed on concrete pads contiguous to the path/trail system
 - Benches shall be chained to anchors placed in concrete pads
- Bollards, boulders and/or landscape configuration placed at maximum 5 foot clear space along street frontage to prevent unauthorized vehicle access
- Information kiosk according to County provided design standard.
- Park name sign as approved by the County DRC.

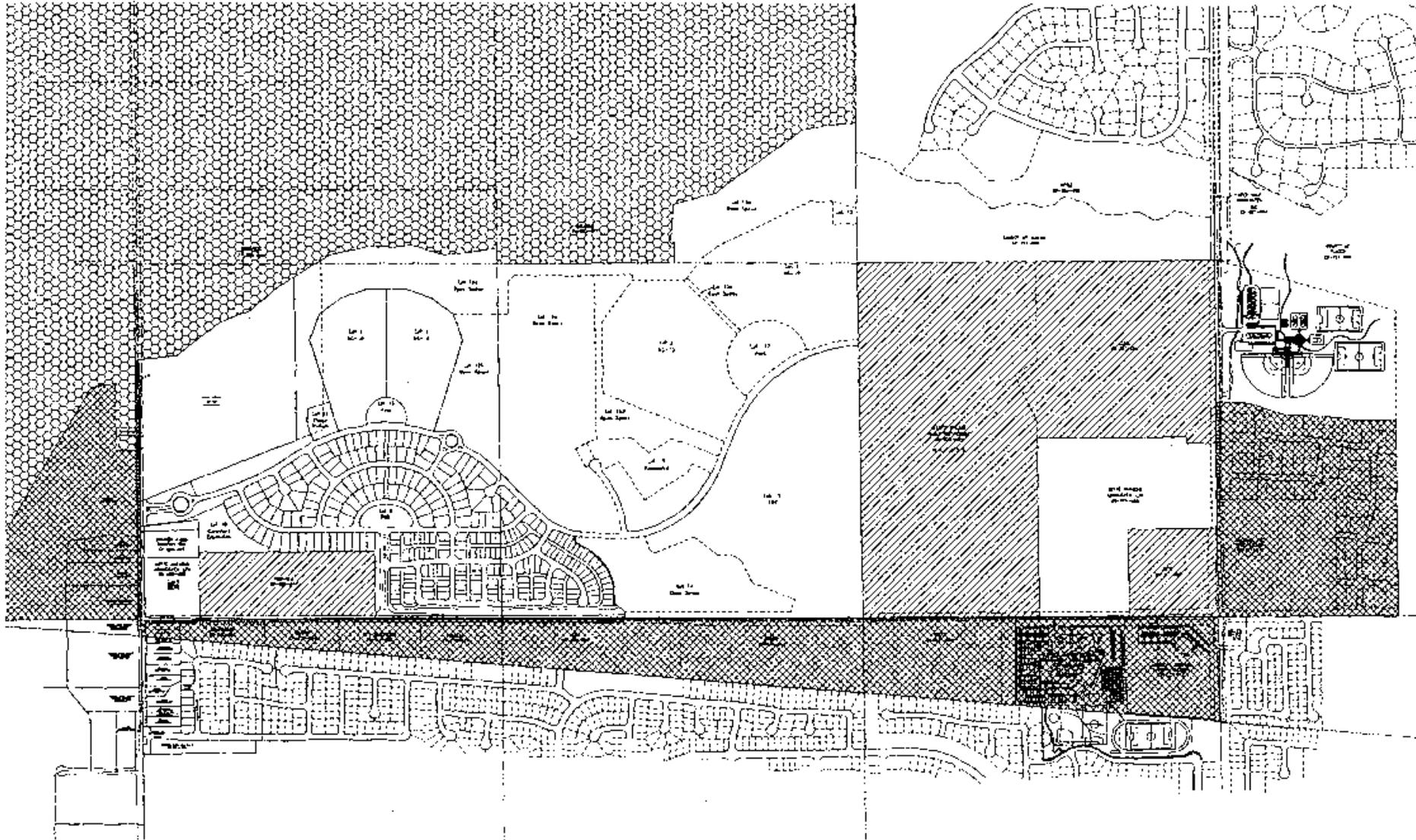
Park Site #3

- Complete Baseball/Softball field including
 - Brick-clay skinned infield with base pads
 - Pitchers mound
 - Enclosed dugouts with benches
 - 30' tall backstop continuous beyond 1st and 3rd bases
 - Electrical outlets supplied to backstop and pitchers mound
 - Three tiered commercial quality bleachers behind each dugout

- Minimum 6 inch thick by approximately 15 feet wide concrete patio area behind dugouts
 - Drinking fountain with jug filler
- Youth soccer field overlay
 - Municipal quality soccer goals.
- Complete water and irrigation system according to County standards
 - Tucor remote irrigation system or approved equal including the following components:
 - TWC-Flow Master Controller, Line Decoder, Sensor Decoder, Surge Protector
 - Tucor Control Cable
 - Tucor Flow Sensor
 - Tucor RFA-100F Radio Field Access Unit.
 - Provide for separate systems for both a primary recycled irrigation system and domestic system for potable use, primary backup, and irrigation areas in proximity to concentrated pedestrian traffic.
 - Pay all required hookup fees and facilitate any necessary agreements
- Turf areas shall be installed in the areas shown on the Specific Plan Figure 5.4
- Construct functional sewer system
 - Obtain and complete sewer permit
 - Pay any hookup fees
- The trail between Park Site 3 and the backbone Dry Creek Corridor Trail shall be constructed no later than the acceptance of improvements for Park Site 3
- Five (5) permanent "bear proof" type trash enclosures designed to hold 2-32 gallon trash bags each
- Fully functional four-stall concrete/masonry restroom building –CXT Montrose model or approved alternate stylized consistent with the Riolo Vineyards Design Guidelines as approved by the County.
 - Stainless steel/penal rated fixtures
 - Dual drinking fountains mounted to exterior
 - Security lighting at restroom
- Covered Picnic Pavilion
 - Minimum 24' x 24' Classic Recreation Systems Scottsdale model or approved alternate stylized consistent with Riolo Vineyards Design Guidelines as approved by the County.
 - Minimum 6" concrete floor
 - Masonry bar-b-que unit with municipal quality charcoal grill inserts with minimum of six square feet of grilling surface
 - Municipal quality picnic tables with chains and anchors
 - Electrical outlet
- Minimum 6" thick concrete pathway and patio area throughout park as generally depicted in Specific Plan Figure 5.4
- Adventure Playground
 - Installed Miracle Model 714-S097 or approved alternate (age 5-12 appropriate)

- Installed Miracle Model 718-S031 or approved alternate (age 2-5 appropriate)
- Poured in place rubber fall zone matting
- Concrete/masonry perimeter
- Drinking fountain located in proximity to playground area
- Landscaping in general areas as depicted in Riolo Vineyards Specific Plan Figure 5.4. Plant and tree selection shall be specified in consultation with and approved by County Parks Division.
- Minimum of six municipal quality park benches located throughout park
 - Bench design shall be consistent with Riolo Vineyards Design Guidelines
 - Benches shall be installed on concrete pads contiguous to the path/trail system
 - Benches shall be chained to anchors placed in concrete pads
- Paved parking Areas
 - Minimum 11 stall parking lot onsite
 - Approximately 19 street side stalls or maximum achievable along road frontage
 - Drainage system and pollutant intercepts as approved by the Regional Water Quality Control Board and County NPDES Division.
 - Signage, striping, and pavement markings as required by law/code.
 - Entrance gate
- Bollards or boulders placed at maximum 5 foot clear space along street frontage and parking lot to prevent unauthorized vehicle access
- Information kiosk according to County provided design standard.
- Park name sign as approved by the County DRC.

EXHIBIT 4.2.5 BENEFITTING PROPERTIES (for reimbursement)



LEGEND	
	On-Site Benefiting Properties
	Off-Site Benefiting Properties
	Off-Site Benefiting Properties - Placer Valleyack



NORTH

0 500 1000

MACKAY & SOMPS
ENGINEERS PLANNERS ARCHITECTS

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**EXHIBIT 7.11
FORM OF DEVELOPMENT AGREEMENT ASSIGNMENT**

Recording Requested By and
When Recorded Mail To:

Attn: _____

(SPACE ABOVE THIS LINE RESERVED FOR RECORDER'S USE)

**ASSIGNMENT AND ASSUMPTION AGREEMENT
RELATIVE TO
RIOLO VINEYARD DEVELOPMENT AGREEMENT**

THIS ASSIGNMENT AND ASSUMPTION AGREEMENT (hereinafter, the "Agreement") is entered into this _____ day of _____, 20____, by and between Bryte Gardens Associates, Ltd., a California partnership, (hereinafter "Developer"), and [Name of Purchaser] a _____ (hereinafter "Assignee"), with respect to the following facts:

RECITALS

A. On _____, 2009, the County of Placer and Developer entered into that certain agreement entitled "Development Agreement By and Between The County of Placer and Bryte Gardens Associates, Ltd., Relative to the Riolo Vineyard Specific Plan " (hereinafter the "Development Agreement"). Pursuant to the Development Agreement, Developer agreed that development of certain property more particularly described in the Development Agreement (hereinafter, the "Property") would be subject to certain conditions and obligations as set forth in the Development Agreement. The Development Agreement was recorded against the Property in the Official Records of Placer County on _____, 200____, as Document No. _____.

B. Developer intends to convey a portion of the Property to Assignee, as identified in Exhibit A attached hereto and incorporated herein by this reference (hereinafter, the "Assigned Parcel(s)").

C. Developer desires to assign and Assignee desires to assume all of Developer's right, title, interest, burdens and obligations under the Development Agreement with respect to and as related to the Assigned Parcel(s).

ASSIGNMENT AND ASSUMPTION

NOW, THEREFORE, for valuable consideration, Developer and Assignee hereby agree as follows:

1. Assignment. Developer hereby assigns, effective as of Developer's conveyance of the Assigned Parcel(s) to Assignee, all of the rights, title, interests, burdens and obligations of Developer under the Development Agreement with respect to the Assigned Parcel(s). Developer retains all the rights, title, interests, burdens and obligations of Developer under the Development Agreement with respect to all other property within the Property owned by Developer.

2. Assumption. Assignee hereby assumes all of the rights, title, interests, burdens and obligations of Developer under the Development Agreement with respect to the Assigned Parcel(s), and agrees to observe and fully perform all of the duties and obligations of Developer under the Development Agreement with respect to the Assigned Parcel(s), and to be subject to all the terms and conditions thereof with respect to the Assigned Parcel(s).

3. Release and Substitution. The parties intend hereby that, upon the execution of this Agreement and conveyance of the Assigned Parcel(s) to Assignee, Developer shall be released from any and all obligations under the Development Agreement arising from and after the effective date of this transfer with respect to the Assigned Parcel(s) and that Assignee shall become substituted for Developer as the "Developer" under the Development Agreement with respect to the Assigned Parcels.

4. Binding on Successors. All of the covenants, terms and conditions set forth herein shall be binding upon and shall inure to the benefit of the parties hereto and their respective heirs, successors and assigns.

5. Notice Address. The Notice Address for Developer as described in the Section 7.5 of the Development Agreement with respect to the Assigned Parcel(s) shall be:

[Name of Assignee]

Attn: _____

IN WITNESS HEREOF, the parties hereto have executed this Agreement as of the day and year first above written. This Agreement may be signed in identical counterparts.

DEVELOPER:

Bryte Gardens Associates, Ltd.
a California partnership

By: _____
Name: _____
Title: _____

ASSIGNEE:

[NAME OF ASSIGNEE],
a _____

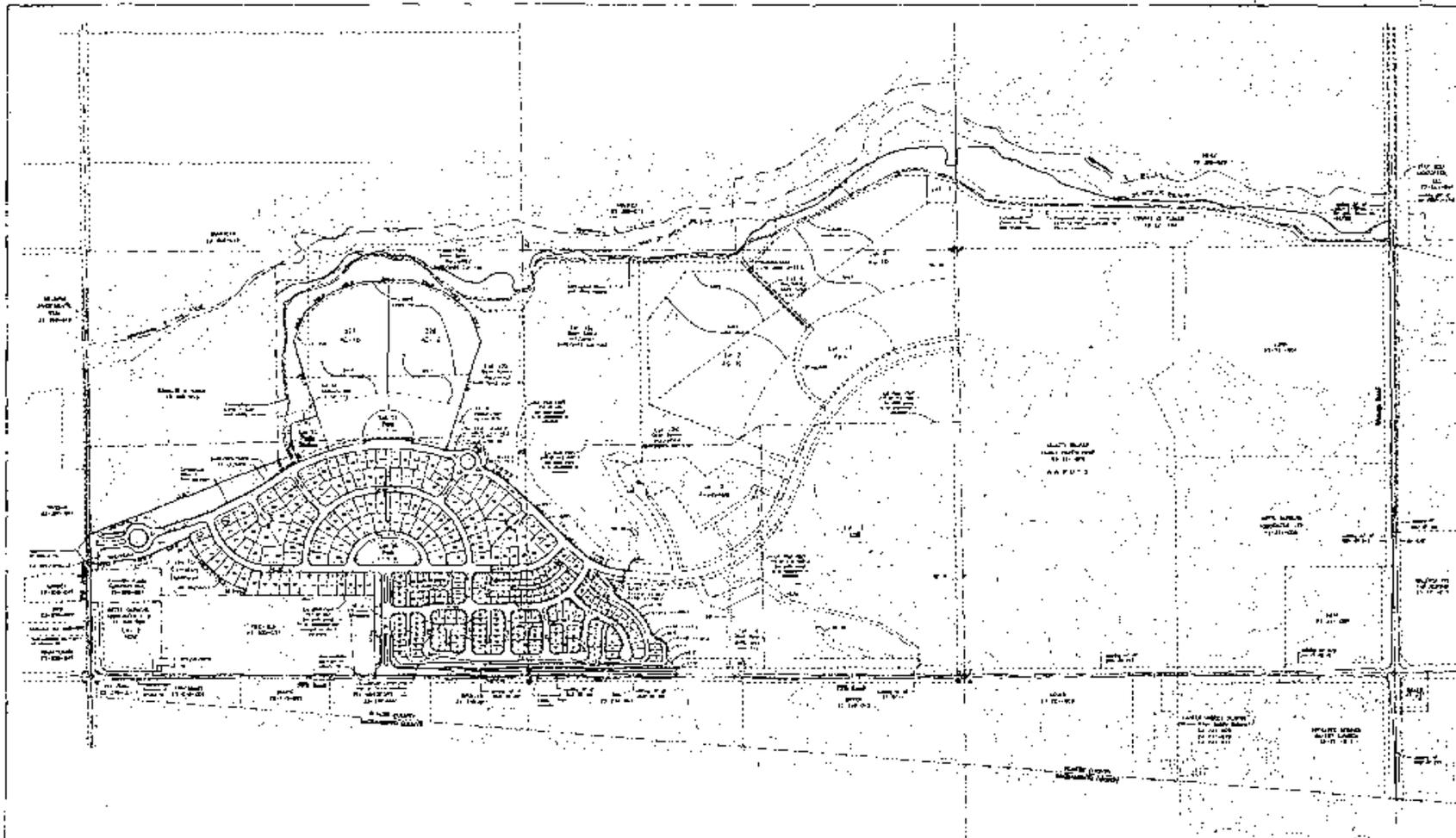
By: _____
Name: _____
Title: _____

Findings for Approval of Large-Lot Vesting Subdivision Map--Exhibit 3 to the Planning Department Staff Report dated May 12, 2009:

1. The Large-Lot Vesting Tentative Subdivision Map is consistent with the programs and policies set forth in the Placer County General Plan and the Dry Creek/West Placer Community Plan.
2. The design of the Large-Lot Vesting Tentative Subdivision Map is consistent with the Placer County General Plan and the Dry Creek/West Placer Community Plan.
3. The site to be subdivided by Large-Lot Vesting Subdivision Map is physically suitable for the type of subdivision proposed, as detailed in the Staff Report for the Riolo Vineyard Specific Plan, dated February 10, 2009.
4. The site to be subdivided by Large-Lot Vesting Subdivision Map is physically suitable for the density of development proposed by the subdivision, as detailed in the Staff Report Commission for the Riolo Vineyard Specific Plan, dated February 10, 2009.
5. The design of the Large-Lot Vesting Subdivision Map will not cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitats. As detailed in the staff Report for the Riolo Vineyard Specific Plan, dated February 10, 2009, and the certified Environmental Impact Report prepared for the Riolo Vineyard Specific Plan, all identified impacts have been adequately addressed and appropriate mitigation measures proposed where feasible.
6. The design of the Large-Lot Vesting Subdivision Map will not cause serious public health problems, as detailed in the Staff Report for the Riolo Vineyard Specific Plan, dated February 10, 2009, and the certified Environmental Impact Report prepared for the Riolo Vineyard Specific Plan.
7. The design of the Large-Lot Vesting Subdivision Map will not conflict with easements, acquired by the public at-large, for access through or use of, property within the proposed subdivision. Public roadways will be constructed to provide public vehicular access through the site and the design does not propose modifications to existing circulation plans.

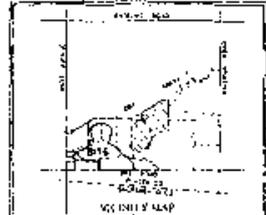
Findings for Approval of Small-Lot Vesting Subdivision Map--Exhibit 2 to the Planning Department Staff Report dated May 12, 2009:

1. The Small-Lot Vesting Tentative Subdivision Map is consistent with the programs and policies set forth in the Placer County General Plan and the Dry Creek/West Placer Community Plan.
2. The design of the Small-Lot Vesting Tentative Subdivision Map is consistent with the Placer County General Plan and the Dry Creek/West Placer Community Plan.
3. The site to be subdivided by Small-Lot Vesting Subdivision Map is physically suitable for the type of subdivision proposed, as detailed in the Staff Report for the Riolo Vineyard Specific Plan, dated February 10, 2009.
4. The site to be subdivided by Small-Lot Vesting Subdivision Map is physically suitable for the density of development proposed by the subdivision, as detailed in the Staff Report Commission for the Riolo Vineyard Specific Plan, dated February 10, 2009.
5. The design of the Small-Lot Vesting Subdivision Map and the improvements proposed therewith will not cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitats. As detailed in the staff Report for the Riolo Vineyard Specific Plan, dated February 10, 2009, and the certified Environmental Impact Report prepared for the Riolo Vineyard Specific Plan, all identified impacts have been adequately addressed and appropriate mitigation measures proposed where feasible.
6. The design of the Small-Lot Vesting Subdivision Map and the improvements proposed therewith will not cause serious public health problems, as detailed in the Staff Report for the Riolo Vineyard Specific Plan, dated February 10, 2009, and the certified Environmental Impact Report prepared for the Riolo Vineyard Specific Plan.
7. The design of the Small-Lot Vesting Subdivision Map will not conflict with easements, acquired by the public at-large, for access through or use of, property within the proposed subdivision. Public roadways will be constructed to provide public vehicular access through the site and the design does not propose modifications to the existing circulation plans.



TENTATIVE MAP INFORMATION

PROJECT NAME	RIOLO VINEYARD
OWNER	RIOLO VINEYARD, INC.
PREPARED BY	SHACKLEY & SONES, INC.
DATE	11/15/08
SCALE	AS SHOWN
PROJECT NO.	11-08-001
PROJECT ADDRESS	11-08-001
PROJECT CITY	11-08-001
PROJECT COUNTY	11-08-001
PROJECT STATE	11-08-001
PROJECT ZIP	11-08-001
PROJECT EASEMENTS	11-08-001
PROJECT UTILITIES	11-08-001
PROJECT RECORDS	11-08-001
PROJECT NOTES	11-08-001
PROJECT LEGEND	11-08-001
PROJECT SHEET INDEX	11-08-001
PROJECT TITLES	11-08-001
PROJECT DATES	11-08-001
PROJECT SCALES	11-08-001
PROJECT SHEETS	11-08-001
PROJECT TOTALS	11-08-001



- NOTES**
1. This map is a tentative map and is not intended to be used for any other purpose.
 2. The map is based on the information provided by the applicant and is not intended to be used for any other purpose.
 3. The map is based on the information provided by the applicant and is not intended to be used for any other purpose.
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 17. The map is based on the information provided by the applicant and is not intended to be used for any other purpose.
 18. The map is based on the information provided by the applicant and is not intended to be used for any other purpose.
 19. The map is based on the information provided by the applicant and is not intended to be used for any other purpose.
 20. The map is based on the information provided by the applicant and is not intended to be used for any other purpose.

LEGEND

1	Proposed Lot
2	Proposed Road
3	Proposed Utility
4	Proposed Easement
5	Proposed Right-of-Way
6	Proposed Right-of-Way
7	Proposed Right-of-Way
8	Proposed Right-of-Way
9	Proposed Right-of-Way
10	Proposed Right-of-Way
11	Proposed Right-of-Way
12	Proposed Right-of-Way
13	Proposed Right-of-Way
14	Proposed Right-of-Way
15	Proposed Right-of-Way
16	Proposed Right-of-Way
17	Proposed Right-of-Way
18	Proposed Right-of-Way
19	Proposed Right-of-Way
20	Proposed Right-of-Way

SHEET INDEX

1	Sheet 1 of 1
2	Sheet 2 of 1
3	Sheet 3 of 1
4	Sheet 4 of 1
5	Sheet 5 of 1
6	Sheet 6 of 1
7	Sheet 7 of 1
8	Sheet 8 of 1
9	Sheet 9 of 1
10	Sheet 10 of 1
11	Sheet 11 of 1
12	Sheet 12 of 1
13	Sheet 13 of 1
14	Sheet 14 of 1
15	Sheet 15 of 1
16	Sheet 16 of 1
17	Sheet 17 of 1
18	Sheet 18 of 1
19	Sheet 19 of 1
20	Sheet 20 of 1

TENTATIVE MAP STATEMENT

I, the undersigned, being a duly licensed Professional Engineer in the State of California, do hereby certify that I am the author of the foregoing map and that the same is a true and correct copy of the original map as shown to me by the applicant.

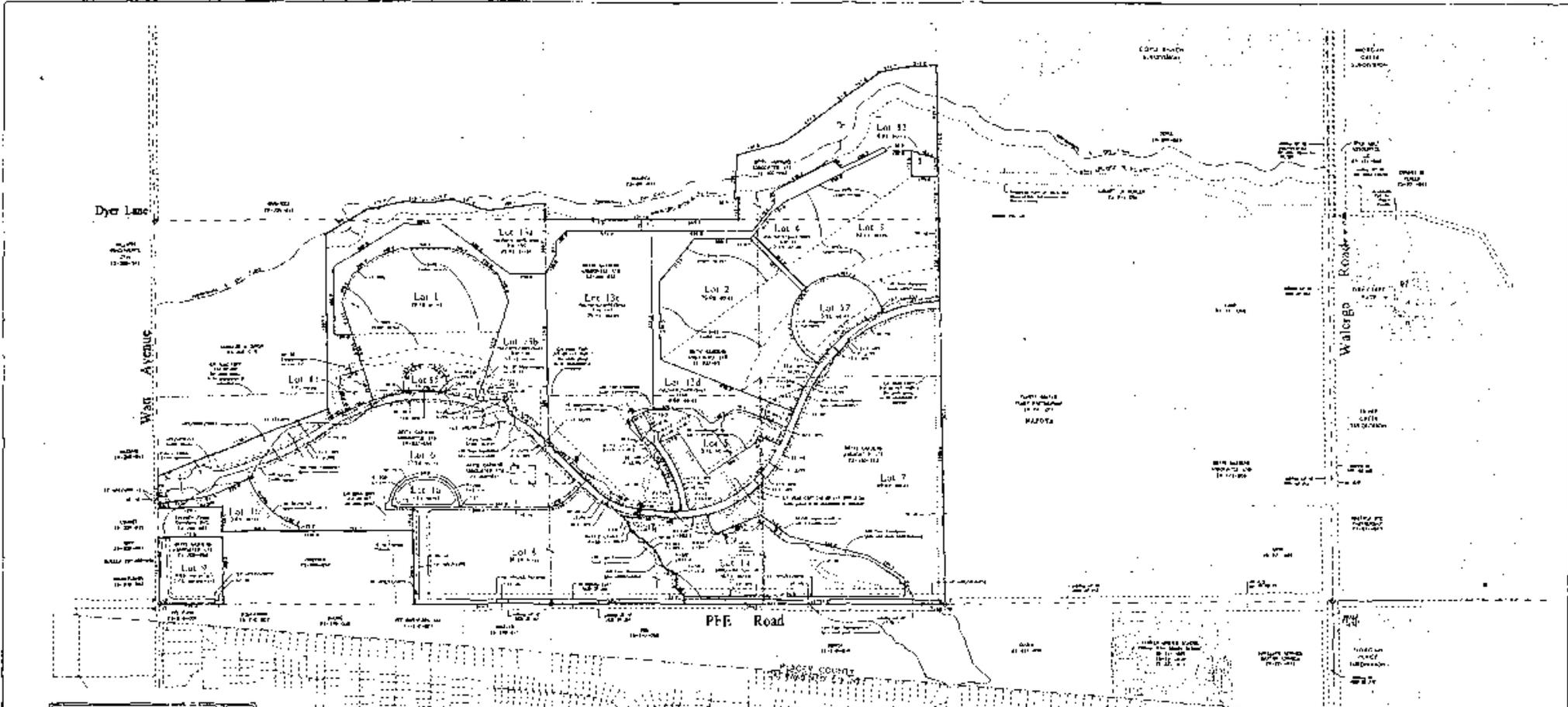
 DATE: 11/15/08



COVER SHEET
VESTING SMALL LOT
TENTATIVE MAP
Riolo Vineyard

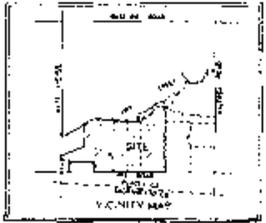
Shackley & Sones, Inc.
 11-08-001
 Placer County, California

EXHIBIT 3



TENTATIVE MAP INFORMATION

APPLICANT	RIOLO VINEYARD
PROJECT	VESTING LARGE LOT TENTATIVE MAP
DATE	10/15/2014
SCALE	AS SHOWN
PROJECT LOCATION	10000 WEST AVENUE, FLEETWOOD, CALIFORNIA
PROJECT AREA	APPROXIMATELY 100 ACRES
PROJECT PURPOSE	TO VEST LARGE LOTS FOR VINEYARD USE
PROJECT DESCRIPTION	THE PROJECT CONSISTS OF 14 LOTS, EACH APPROXIMATELY 10 ACRES IN SIZE, TO BE USED FOR VINEYARD CULTIVATION. THE LOTS ARE BOUND BY DYER LANE TO THE NORTH, WEST AVENUE TO THE WEST, PFE ROAD TO THE SOUTH, AND WATERBURY ROAD TO THE EAST.
PROJECT CONTACT	MAC KAY & SONS, INC., 10000 WEST AVENUE, FLEETWOOD, CALIFORNIA 92031, (619) 441-1111
PROJECT STATUS	TENTATIVE MAP
PROJECT HISTORY	THE PROJECT HAS BEEN SUBMITTED TO THE COUNTY OF FLEETWOOD FOR REVIEW AND APPROVAL. THE PROJECT IS CURRENTLY UNDER REVIEW BY THE COUNTY ENGINEER AND THE COUNTY PLANNING DEPARTMENT.
PROJECT NOTES	ALL DIMENSIONS AND AREAS ARE APPROXIMATE. THE PROJECT IS SUBJECT TO THE APPROVAL OF THE COUNTY ENGINEER AND THE COUNTY PLANNING DEPARTMENT. THE PROJECT IS SUBJECT TO THE APPLICABLE ZONING ORDINANCES AND REGULATIONS OF THE COUNTY OF FLEETWOOD.



LEGEND

---	PROPERTY LINE
---	ADJACENT PROPERTY
---	EXISTING ROAD
---	PROPOSED ROAD
---	EXISTING LOT
---	PROPOSED LOT
---	EXISTING VINEYARD
---	PROPOSED VINEYARD

TENTATIVE MAP STATEMENT

I, the undersigned, being duly qualified and sworn, do hereby certify that the foregoing is a true and correct copy of the tentative map as shown to me by the applicant, and that the same has been examined and approved by me as the County Engineer of the County of Fleetwood, California.



NOTES

1. The project is subject to the approval of the County Engineer and the County Planning Department.
2. The project is subject to the applicable zoning ordinances and regulations of the County of Fleetwood.
3. The project is subject to the approval of the County Board of Supervisors.
4. The project is subject to the approval of the County Board of Supervisors.
5. The project is subject to the approval of the County Board of Supervisors.
6. The project is subject to the approval of the County Board of Supervisors.
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9. The project is subject to the approval of the County Board of Supervisors.
10. The project is subject to the approval of the County Board of Supervisors.



**VESTING LARGE LOT
TENTATIVE MAP
Riolo Vineyard**

Prepared by: **MacKay & Sons, Inc.**
 10000 West Avenue, Fleetwood, California 92031
 (619) 441-1111

EXHIBIT 3/4